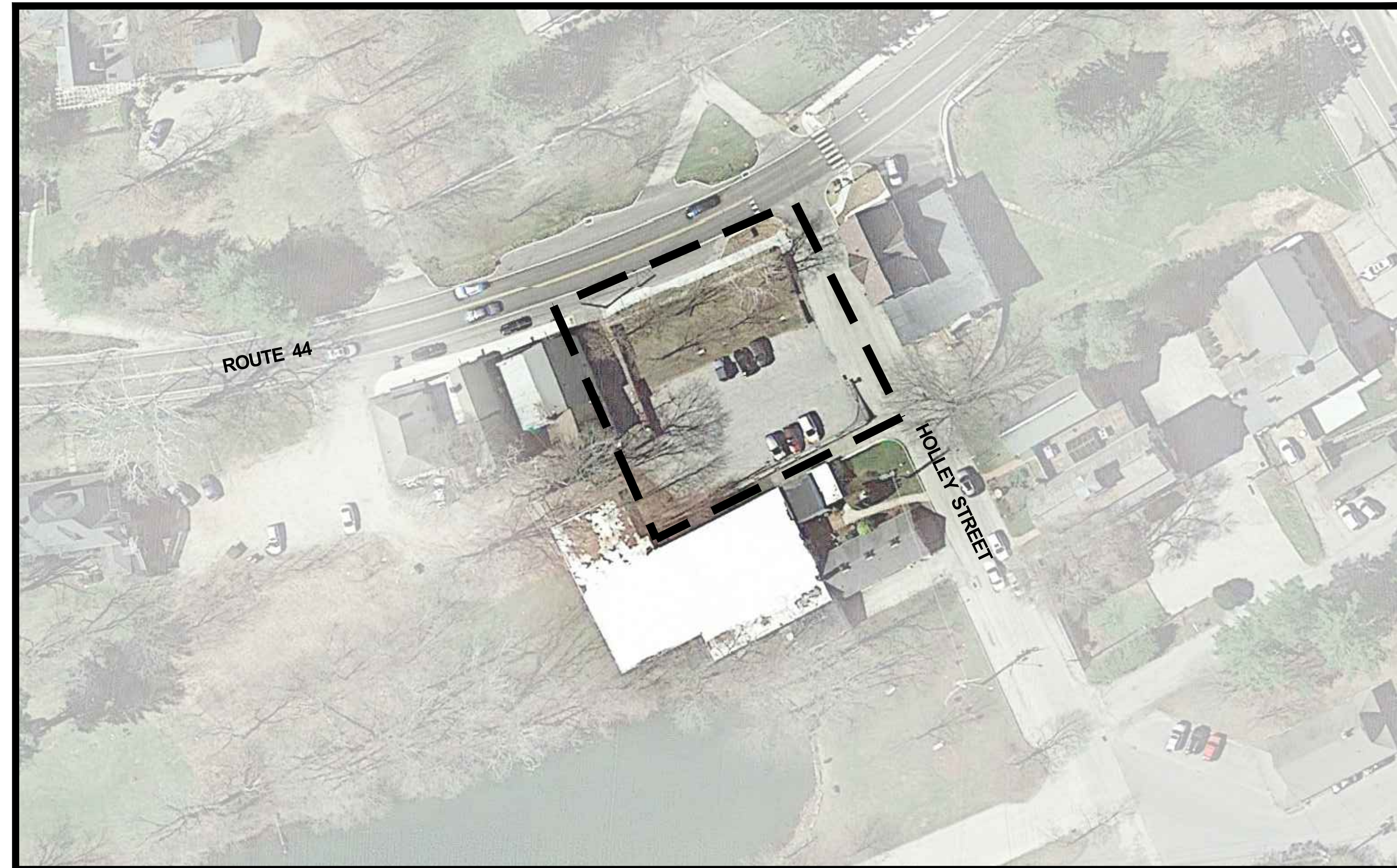


HOLLEY PLACE

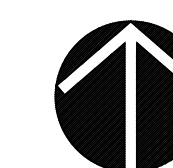
11 Holley Street

Salisbury, Connecticut



Project Site

NTS



CONTENTS

- Property & Topographic Survey Map
- L-1.0 Demolition Plan
- L-2.0 Layout Plan
- L-3.0 Grading & Utility Plan
- L-4.0 Planting Plan
- L-5.0-L-5.2 Details
- ES-1 Erosion & Soil Sedimentation Control Notes and Details
- A1.0 Parking Level Floor Plan
- A1.1 Main Floor Plan
- A1.2 Second Floor
- A1.3 Third Floor
- A1.4 Roof Plan
- A3.0 Exterior Elevations
- A4.0 Building Sections
- PR1.0 Renderings

Prepared by:

QA+M
 architecture
 QuisenberryArcariMalik
 195 Scott Swamp Road
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 qamarch.com

todesign
 SITE DESIGN
 LANDSCAPE ARCHITECTURE
 URBAN PLANNING

114 WEST MAIN STREET
 SUITE 202
 NEW BRITAIN, CT 06051
 860-612-1700

todesignllc.com

CREATING MEANINGFUL OUTDOOR SPACES

APPLICATION FOR SPECIAL PERMIT 02.04.2021

Prepared for The Salisbury Housing Committee

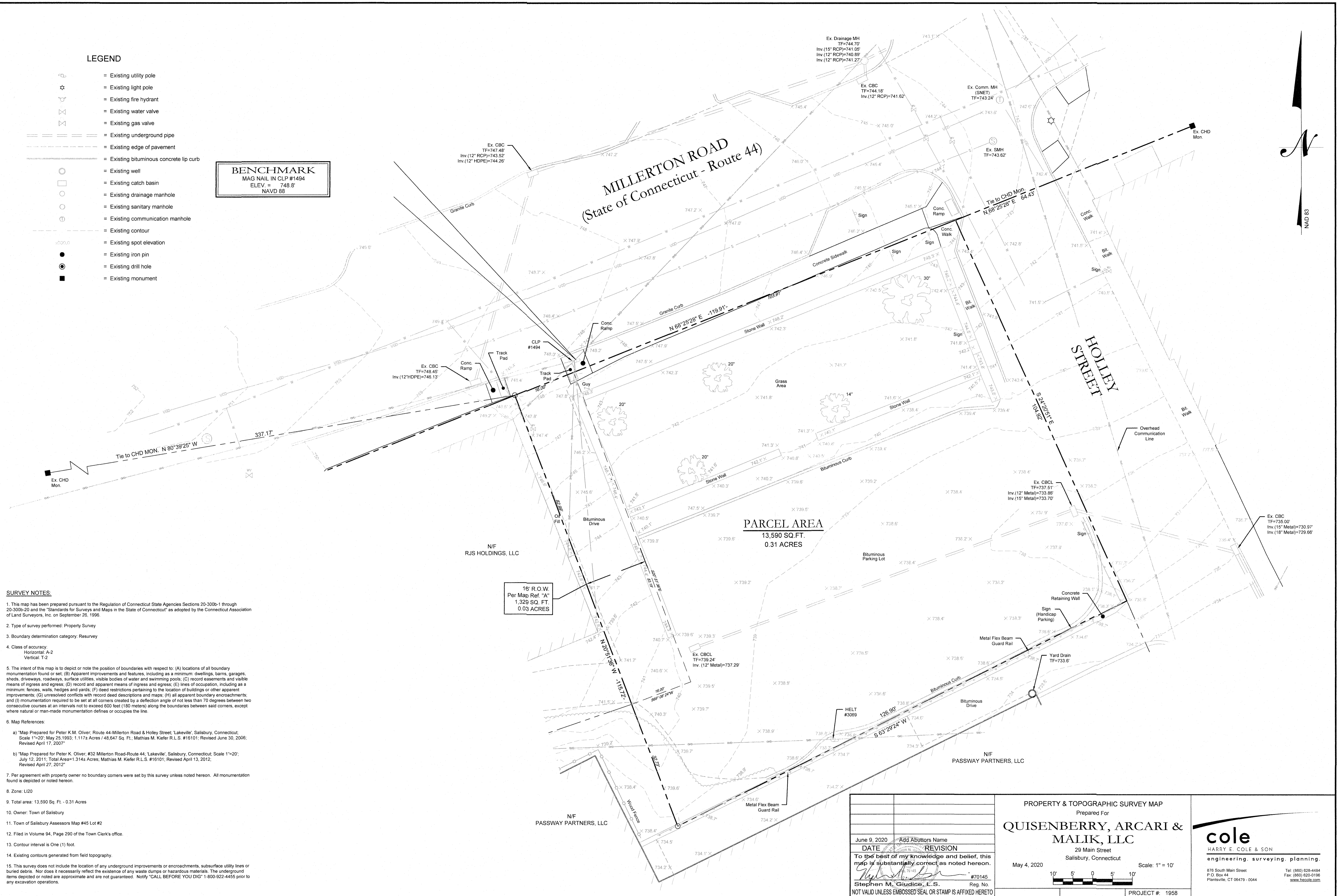
President: Anne Kremer

THE WORK SHOWN ON THIS PLAN IS THE PROPERTY OF QUISENBERRY, ARCARI & MALIK, LLC. ANY REUSE OR REPRODUCTION OF THIS PLAN WITHOUT THE WRITTEN PERMISSION OF QUISENBERRY, ARCARI & MALIK, LLC IS STRICTLY PROHIBITED.

LEGEND

- = Existing utility pole
- = Existing light pole
- = Existing fire hydrant
- = Existing water valve
- = Existing gas valve
- = Existing underground pipe
- = Existing edge of pavement
- = Existing bituminous concrete lip curb
- = Existing well
- = Existing catch basin
- = Existing drainage manhole
- = Existing sanitary manhole
- = Existing communication manhole
- = Existing contour
- = Existing spot elevation
- = Existing iron pin
- = Existing drill hole
- = Existing monument

BENCHMARK
 MAG NAIL IN CLP #1494
 ELEV. = 748.8'
 NAVD 88



- SURVEY NOTES:**
1. This map has been prepared pursuant to the Regulation of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
 2. Type of survey performed: Property Survey
 3. Boundary determination category: Resurvey
 4. Class of accuracy:
Horizontal: A-2
Vertical: T-2
 5. The intent of this map is to depict or note the position of boundaries with respect to: (A) locations of all boundary monumentation found or set; (B) apparent improvements and features, including as a minimum dwellings, barns, garages, sheds, driveways, roadways, surface utilities, visible bodies of water and swimming pools; (C) record easements and visible means of ingress and egress; (D) record and apparent means of ingress and egress; (E) lines of occupation, including as a minimum fences, walls, hedges and yards; (F) deed restrictions pertaining to the location of buildings or other apparent improvements; (G) unresolved conflicts with record deed descriptions and maps; (H) all apparent boundary encroachments; and (I) monumentation required to be set at all corners created by a deflection angle of not less than 70 degrees between two consecutive courses at an interval not to exceed 600 feet (180 meters) along the boundaries between said corners, except where natural or man-made monumentation defines or occupies the line.
 6. Map References:
 a) "Map Prepared for Peter K. M. Oliver, Route 44 Millerton Road & Holley Street, 'Lakeville', Salisbury, Connecticut, Scale 1"=20', May 25, 1993, 1.1178 Acres / 48,647 Sq. Ft., Mathias M. Kiefer R.L.S. #16101, Revised June 30, 2006, Revised April 17, 2007"
 b) "Map Prepared for Peter K. Oliver, #32 Millerton Road-Route 44, 'Lakeville', Salisbury, Connecticut, Scale 1"=20', July 12, 2011, Total Area=1.3145 Acres, Mathias M. Kiefer R.L.S. #16101, Revised April 13, 2012, Revised April 27, 2012"
 7. Per agreement with property owner no boundary corners were set by this survey unless noted hereon. All monumentation found is depicted or noted hereon.
 8. Zone: LI20
 9. Total area: 13,590 Sq. Ft. - 0.31 Acres
 10. Owner: Town of Salisbury
 11. Town of Salisbury Assessors Map #45 Lot #2
 12. Filed in Volume 94, Page 290 of the Town Clerk's office.
 13. Contour interval is One (1) foot.
 14. Existing contours generated from field topography.
 15. This survey does not include the location of any underground improvements or encroachments, subsurface utility lines or buried debris. Nor does it necessarily reflect the existence of any waste dumps or hazardous materials. The underground items depicted or noted are approximate and are not guaranteed. Notify "CALL BEFORE YOU DIG" 1-800-922-4455 prior to any excavation operations.

| | |
|--|--|
| DATE: June 9, 2020 REVISION: Add A Butters Name | |
| To the best of my knowledge and belief, this map is substantially correct as noted hereon. | |
| Stephen M. Giudice, L.S. #70145 Reg. No. | |
| NOT VALID UNLESS EMBOSSED SEAL OR STAMP IS AFFIXED HERETO | |

PROPERTY & TOPOGRAPHIC SURVEY MAP
 Prepared For
QUISENBERRY, ARCARI & MALIK, LLC
 29 Main Street
 Salisbury, Connecticut
 May 4, 2020
 Scale: 1" = 10'

cole
 HARRY E. COLE & SON
 engineering. surveying. planning.
 876 South Main Street
 P.O. Box 44
 Plainville, CT 06473 - 0044
 Tel: (860) 628-4484
 Fax: (860) 620-0196
 www.hccolc.com



HOLLEY PLACE

11 HOLLEY STREET
 SALISBURY, CT
 Project #: 6342

Revisions

Issue Dates:

APPLICATION FOR SPECIAL PERMIT
 02.04.2021

Demolition Plan

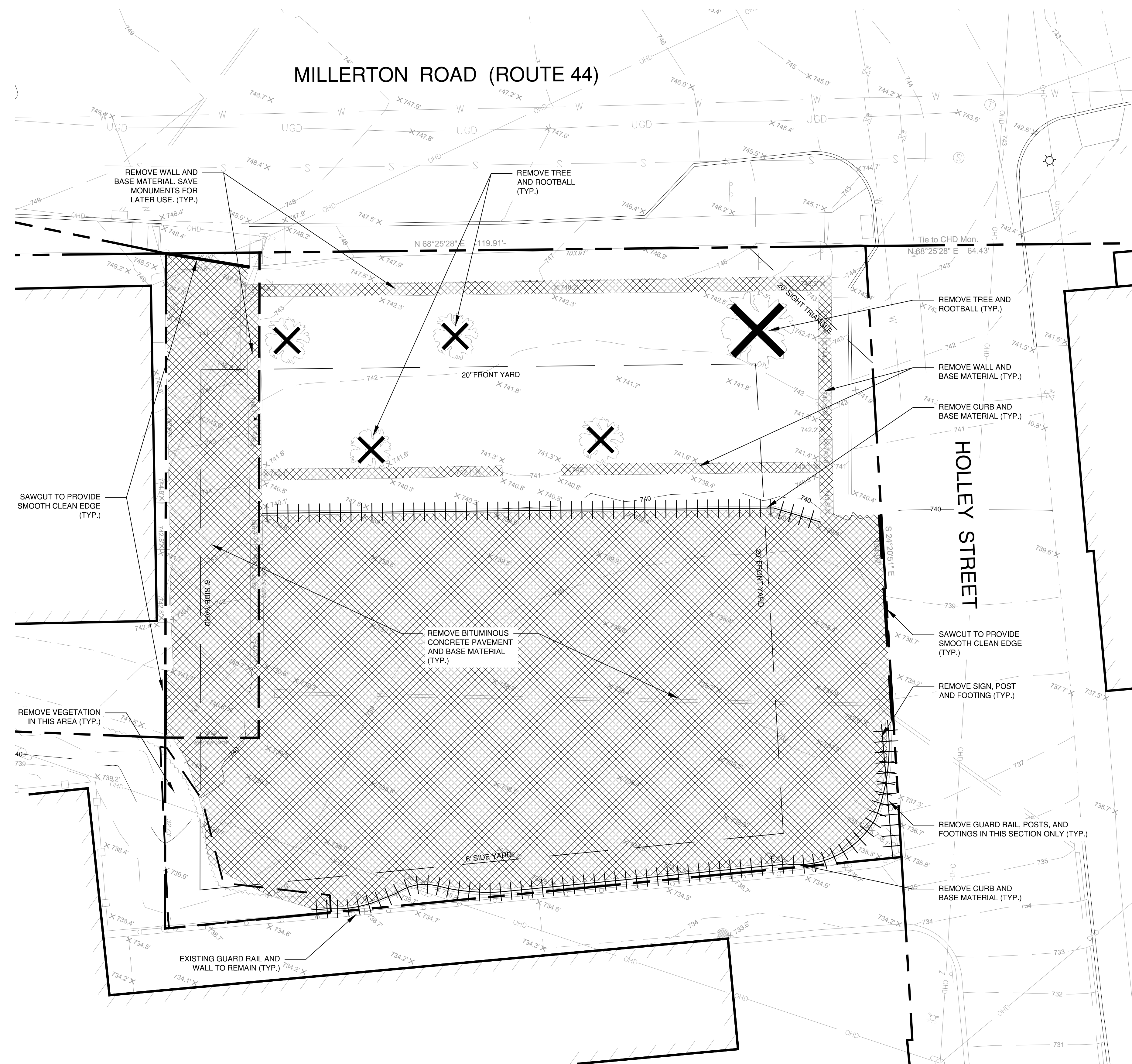
L-1.0

DEMOLITION NOTES

- CONTRACTOR SHALL STRIP AND STORE TOPSOIL IN ALL AREAS TO BE DISTURBED OR REGRADED. LOCATION OF TOPSOIL STOCKPILE TO BE DESIGNATED BY TOWN ENGINEER.
- ALL MATERIAL TO BE REMOVED SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR AWAY FROM THE SITE OR DELIVERED AS DIRECTED BY THE OWNER.
- LOCATION OF ALL UTILITIES ARE SHOWN DIAGRAMMATICALLY & MAY BE INCOMPLETE. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES DONE BY THIS WORK SHALL BE REPAIRED BY THE CONTRACTOR.
- PROTECTION OF ALL EXISTING TREES TO REMAIN SHALL BE A PRIORITY. INSTALL TREE PROTECTION AS INDICATED. DO NOT STOCKPILE, PARK OR PERFORM ANY MECHANICAL OPERATIONS WITHIN THE DRIPLINE OF EXISTING TREES AS INDICATED IN THE DETAILS. NO STORAGE OF MATERIALS OR SOIL SHALL BE ALLOWED IN THESE AREAS. ALL FILL AND EXCAVATION REQUIRED WITHIN THE DRIPLINE OF ALL EXISTING TREES TO REMAIN SHALL BE COMPLETED BY HAND UNLESS OTHERWISE APPROVED BY LANDSCAPE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING TREES AND VEGETATION. DAMAGE TO VEGETATION SHALL BE REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS BY THE CONTRACTOR.
- BEFORE BEGINNING ANY WORK, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 1.800.922.4455. THE RESPECTIVE UTILITY COMPANIES AND LOCAL AUTHORITIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES. ANY COSTS INCURRED BY THE CONTRACTOR AS A RESULT OF FAILURE TO CONTACT PROPER AUTHORITIES SHALL BE BORN BY THE CONTRACTOR.
- OWNER'S REPRESENTATIVE SHALL BE CONSULTED BEFORE ANY WORK SHALL COMMENCE.
- PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHALL SECURE ALL PERMITS REQUIRED FROM ANY UTILITY COMPANY OR OTHER GOVERNMENT AGENCIES HAVING JURISDICTION OVER THE WORK.
- CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO HIS CONTRACT OPERATIONS.
- CONTRACTOR SHALL PROTECT AND SUSTAIN IN NORMAL SERVICE ALL EXISTING UTILITIES, STRUCTURES, EQUIPMENT, ROADWAYS AND DRIVEWAYS.
- CONTRACTOR SHALL MAINTAIN PROPER SIGNS, BARRICADES, AND FENCES TO PROPERLY PROTECT THE WORK EQUIPMENT, PERSONS AND PROPERTY FROM DAMAGE.
- ALL ITEMS REQUIRING REMOVAL SHALL BE REMOVED TO FULL DEPTH TO INCLUDE BASE MATERIAL AND FOOTINGS OR FOUNDATIONS AS APPLICABLE, AND LEGALLY DISPOSED OF OFF-SITE BY CONTRACTOR.

LEGEND

| EXISTING | |
|----------|-----------------------------|
| | PROPERTY LINE |
| | YARD LINE |
| | BUILDING |
| | CURB |
| | CONTOUR 1 FT |
| | CONTOUR 5 FT |
| | SPOT GRADE |
| | CATCH BASIN |
| | LIGHT |
| | SIGN |
| | UTILITY POLE |
| | GUARD RAIL |
| | TREE OR SHRUB TO BE REMOVED |
| | SITE ELEMENT TO BE REMOVED |
| | SAW CUT |



HOLLEY PLACE

11 HOLLEY STREET
SALISBURY, CT
Project #: 6342

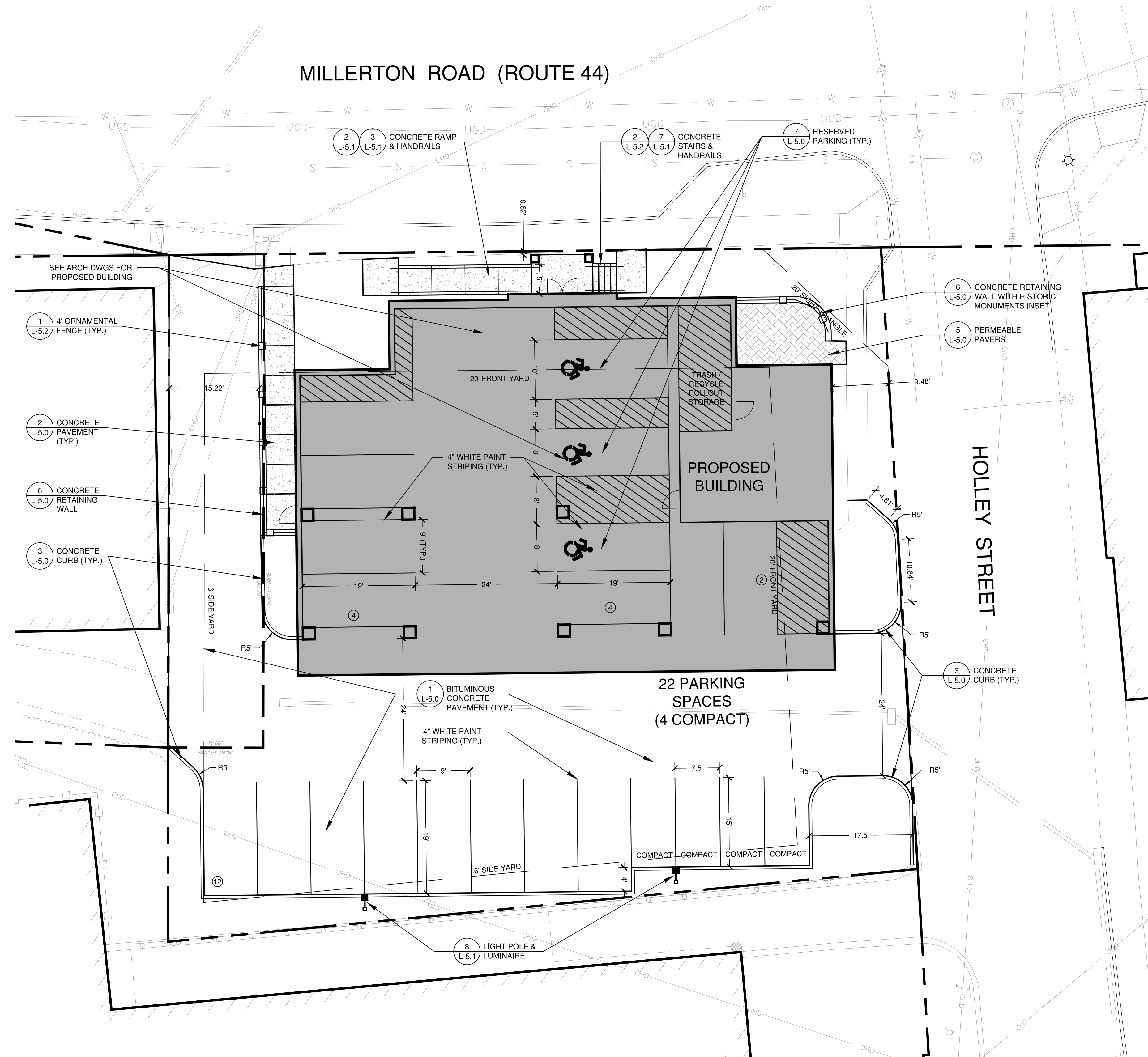
Revisions

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Layout Plan

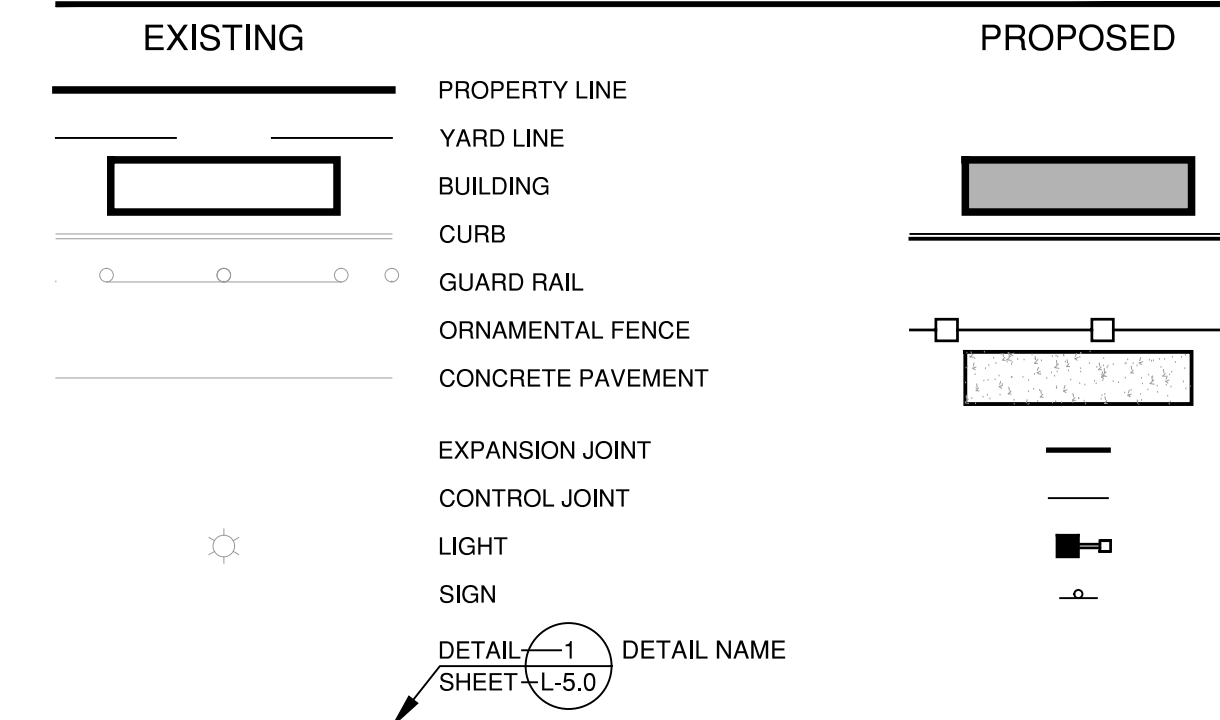
L-2.0



LAYOUT NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL STATE, LOCAL AND FEDERAL REGULATIONS.
2. MATERIALS AND CONSTRUCTION PROCEDURES SHALL COMPLY WITH CT DOT FORM 816/817 AND THE TOWN OF SALISBURY SPECIFICATIONS.
3. CONTRACTOR TO SECURE ALL NECESSARY TRADE PERMITS.
4. NEW PAVEMENT TO MEET LINE & GRADE OF EXISTING PAVEMENTS.
5. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONSTRUCTION ACTIVITIES.
6. LOAM AND SEED ALL DISTURBED AREAS NOT COVERED BY OTHER IMPROVEMENTS.
7. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED.
8. ALL LOCATIONS WHERE EXISTING CURBING, BITUMINOUS CONCRETE ROADWAY OR CONCRETE ROADWAY OR CONCRETE SIDEWALK ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO PROVIDE A CLEAN, SMOOTH EDGE. TACK COAT EXPOSED EDGES OF EXISTING CONCRETE PRIOR TO PLACEMENT OF NEW BITUMINOUS CONCRETE PAVEMENT.
9. FIELD ADJUSTMENTS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE AND APPROPRIATE MUNICIPAL OFFICIALS PRIOR TO CONSTRUCTION.
10. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE VERTICAL AND HORIZONTAL POSITION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
11. CONTRACTOR SHALL CONTROL DUST CAUSED BY HIS OPERATIONS BY APPLYING WATER OR DUST PALLIATIVE, OTHER THAN CALCIUM CHLORIDE.
12. CONTRACTOR SHALL CONTROL NOISE TO AS GREAT AN EXTENT AS POSSIBLE. ALL POWER EQUIPMENT USED DURING CONSTRUCTION SHALL BE EQUIPPED WITH MUFFLERS.
13. MANUFACTURED ITEMS SHALL BE INSTALLED, CONNECTED AND CLEANED ACCORDING TO THE MANUFACTURERS DIRECTIONS.
14. PRIOR TO PROJECT CLOSE-OUT, CONTRACTOR SHALL REMOVE ALL DEBRIS AND EXCESS MATERIALS FROM SITE. ALSO, ANY DAMAGE TO FIELD OR FACTORY APPLIED FINISHES SHALL BE REPAIRED.
15. EXPANSION AND SCORE JOINTS FOR NEW CONCRETE WALKS SHALL BLEND TO MATCH EXISTING PATTERNS. CONTRACTOR TO ARRANGE TIMELY ON-SITE CONFERENCES WITH LANDSCAPE ARCHITECT TO APPROVE LAYOUT OF JOINT PATTERNS.
16. PROVIDE EXPANSION JOINTS FOR NEW CONCRETE PAVING AT ALL CURBS, BUILDING WALLS, SITE WALLS, STAIRS, EXISTING CONCRETE PAVING, AND ALL OTHER FIXED MATERIALS. MAXIMUM DISTANCE BETWEEN EXPANSION JOINTS SHALL NOT EXCEED 25 FEET.

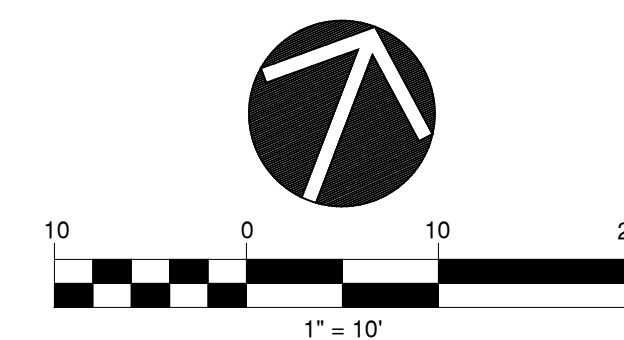
LEGEND



ZONING INFORMATION

| ZONE: PKSQ (POCKETKNIFE SQUARE OVERLAY DISTRICT) / LI-20 | REQUIRED | EXISTING | PROPOSED | CONFORMANCE |
|--|-------------------|-----------|-----------------------|--------------------|
| USE | | PARKING | MULTI-FAMILY DWELLING | BY SPECIAL PERMIT |
| MAXIMUM DENSITY | 16 UNITS/ACRE (1) | 0 | 12 | YES |
| MAX. BUILDING HEIGHT | 40' | 0' | 33' | YES |
| MIN. LOT AREA | 20,000 SF | 13,590 SF | 13,590 SF | EXISTING CONDITION |
| MIN. STREET FRONTAGE | 25' | 103.91' | 103.91' | YES |
| FRONT YARD | 20' | N/A | 0.62' (2) | YES |
| MAX. BUILDING COVERAGE | 75% | 0% | 40.1% (3) | YES |
| SIDE YARD | 6' | N/A | 9.48' | YES |
| REAR YARD | 10' | N/A | N/A | YES |
| PARKING SPACES | 13 (1 PER UNIT) | ±24 | 22 | YES |
| MAX. COMPACT PARKING SPACES | 20% | 0 | 18% (4 SPACES) | YES |

(1) A MINIMUM OF 50% OF UNITS ARE AFFORDABLE AND THE MINIMUM SIZE IS GREATER THAN 350 SQUARE FEET.
(2) MATCHES EXISTING FRONT YARD SETBACK OF BUILDINGS ON ABUTTING PROPERTIES
(3) BUILDING COVERAGE: 5437 SF / 13,290 SF = 40.1%



HOLLEY PLACE

11 HOLLEY STREET
 SALISBURY, CT
 Project #: 6342

Revisions

Issue Dates:

APPLICATION FOR SPECIAL PERMIT
 02.04.2021

Planting Plan

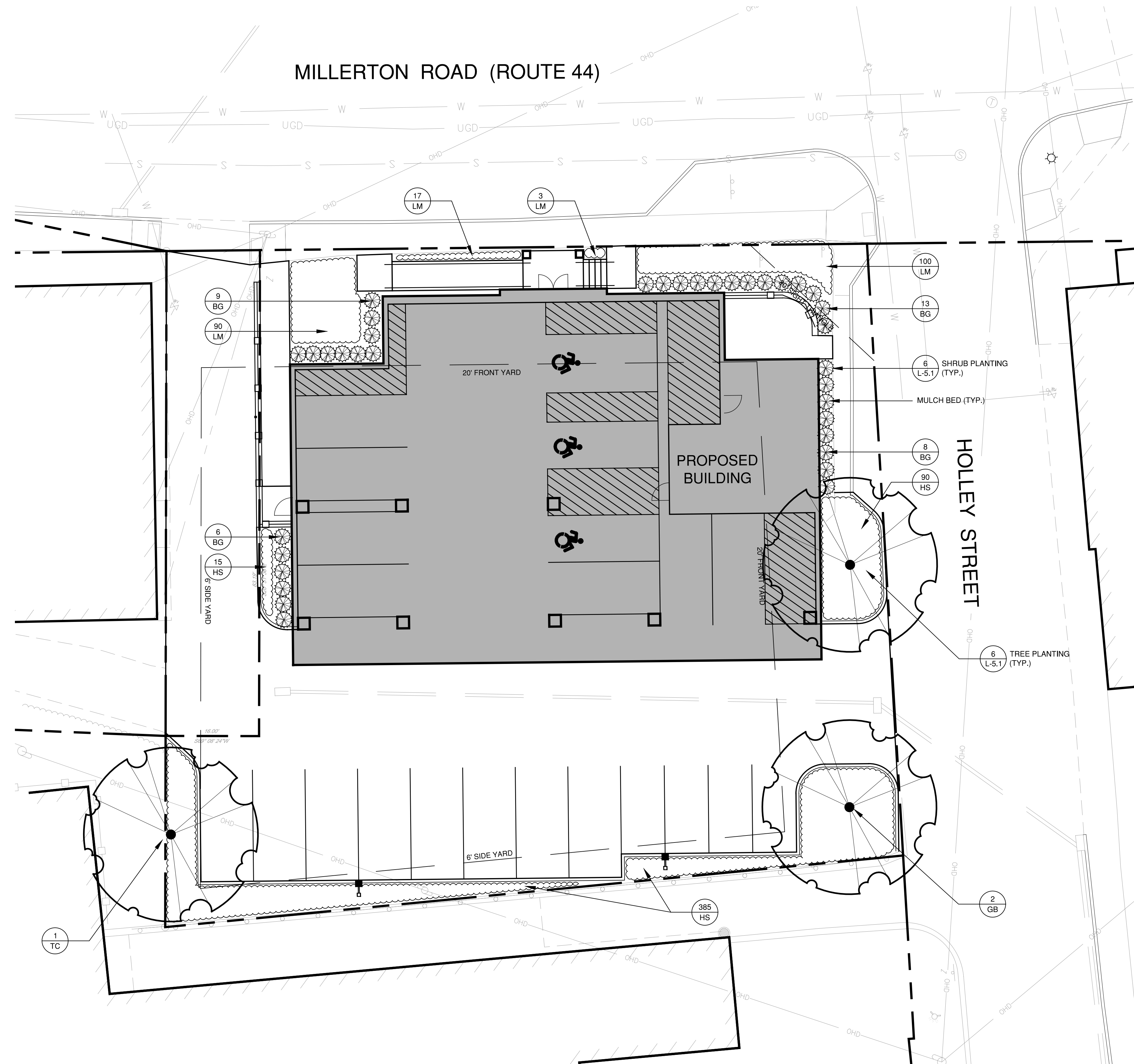
L-4.0

PLANTING NOTES

- ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO APPLICABLE A.A.N. STANDARDS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
- ALL PLANTS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION AND SHALL BE LOCATED AT THE GROWING SITE BY THE CONTRACTOR, FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT. ANY INSTALLATIONS WHICH WERE NOT APPROVED BY THE LANDSCAPE ARCHITECT AND WHICH ARE SUBSEQUENTLY REQUESTED TO BE REMOVED, WILL BE DONE AT THE CONTRACTORS EXPENSE.
- PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
- ALL SHRUB AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGE, AT HIS OWN EXPENSE.
- ALL SHRUB AND GROUND COVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL, 18" DEEP.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD. WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
- PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND/OR LAWN SEEDING OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- SUBSTITUTIONS PERMITTED ONLY UPON WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
- PLANT TAGS TO REMAIN ON ALL PLANT MATERIAL UNTIL FINAL ACCEPTANCE. CONTRACTOR TO THEN REMOVE ALL PLANT TAGS.
- WHERE A SIZE RANGE IS GIVEN IN THE PLANT SCHEDULE, AT LEAST 50% OF THE PLANTS PROVIDED SHALL BE OF THE LARGER SIZE.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR AFTER DATE OF FINAL ACCEPTANCE.
- CONTRACTOR TO MAINTAIN ALL PLANT MATERIAL UNTIL 60 DAYS AFTER FINAL ACCEPTANCE UNLESS NOTED OTHERWISE IN SPECS.
- TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES AND NOT COVERED BY OTHER SITE IMPROVEMENTS.

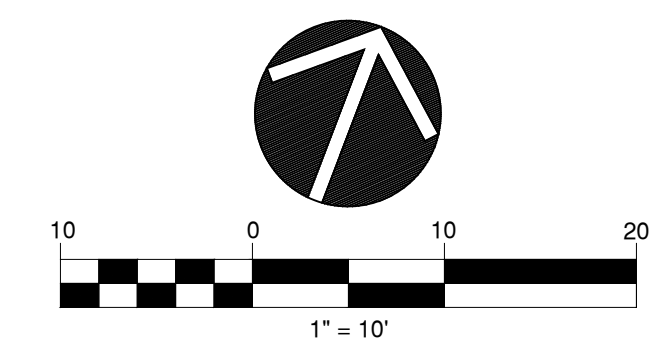
LEGEND

| EXISTING | PROPOSED |
|----------|----------------|
| | PROPERTY LINE |
| | YARD LINE |
| | BUILDING |
| | DECIDUOUS TREE |
| | SHRUBS |



PLANT SCHEDULE

| CATEGORY | SYM. | NO. | BOTANICAL NAME | COMMON NAME | SIZE | COND. |
|-----------------|------|-----|------------------------------------|----------------------------------|------------------|---------------------|
| DECIDUOUS TREES | GB | 2 | GINKGO BILOBA 'PRINCETON SENTRY' | PRINCETON SENTRY MAIDENHAIR TREE | 3" - 3 1/2" CAL. | B&B |
| | TC | 1 | GLEDITSIA TRICANTHOS 'SHADEMASTER' | SHADEMASTER HONEYLOCUST | 3" - 3 1/2" CAL. | B&B |
| SHRUBS | BG | 36 | BUXUS X 'GREEN VELVET' | GREEN VELVET BOXWOOD | 12" - 18" | CONT. |
| PERENNIALS | HS | 490 | HEMEROCALLIS 'STELLA DE ORO' | STELLA DE ORO DAYLILY | 1 GAL. | CONTAINER, 18" O.C. |
| | LM | 210 | LIRIOPE MUSCARI 'BIG BLUE' | BIG BLUE LILY TURF | 1 GAL. | CONTAINER, 18" O.C. |



HOLLEY PLACE

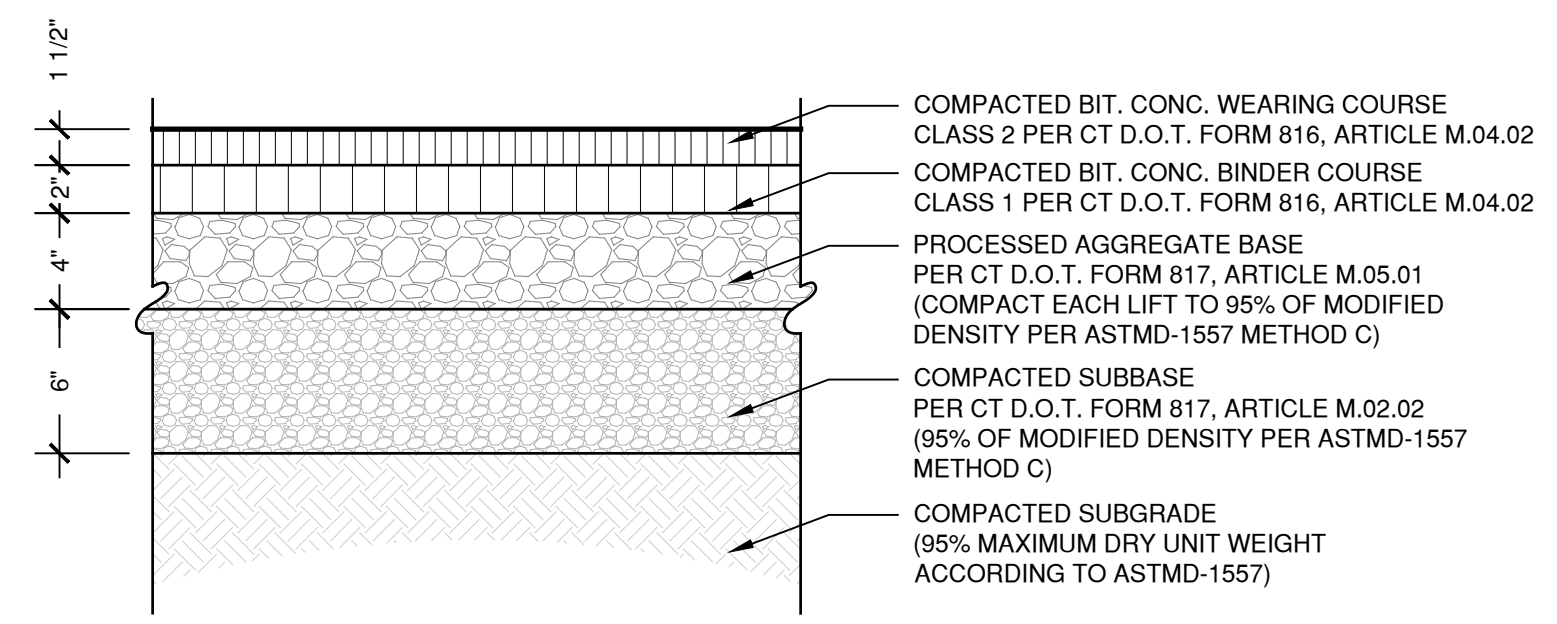
11 HOLLEY STREET
 SALISBURY, CT
 Project #: 6342

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| Revisions |
| Issue Dates: |

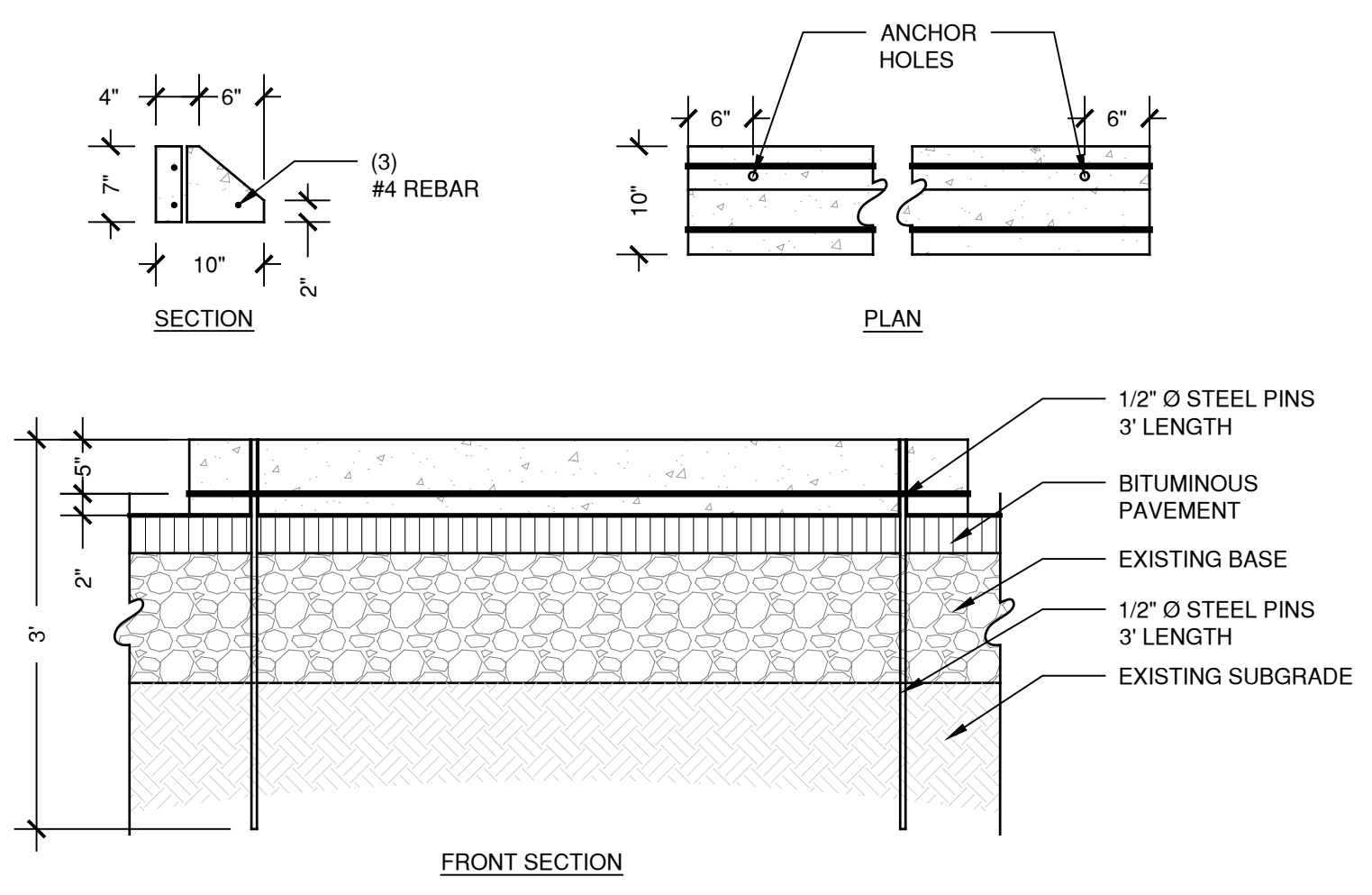
APPLICATION FOR SPECIAL PERMIT
 02.04.2021

Details

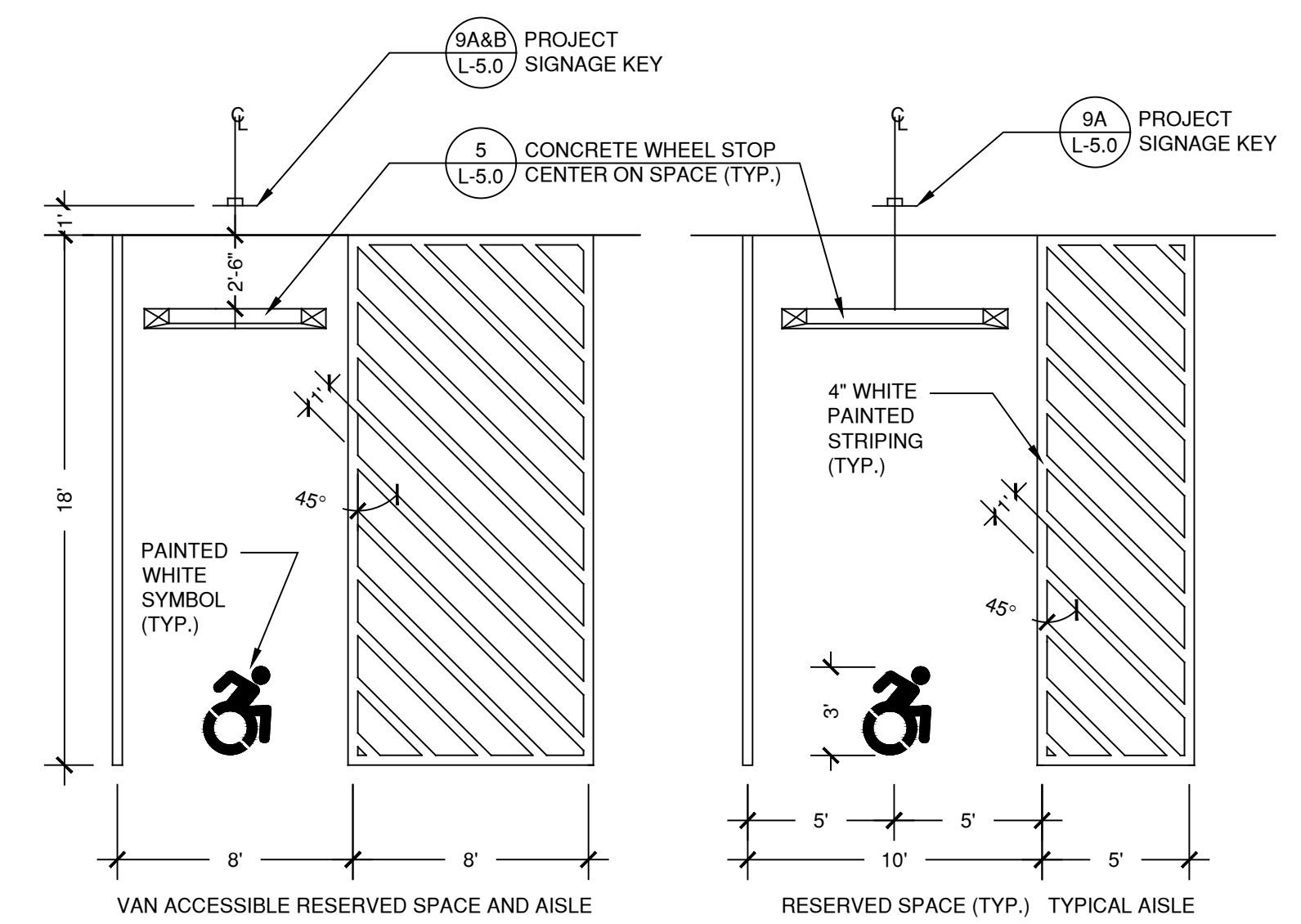
L-5.0



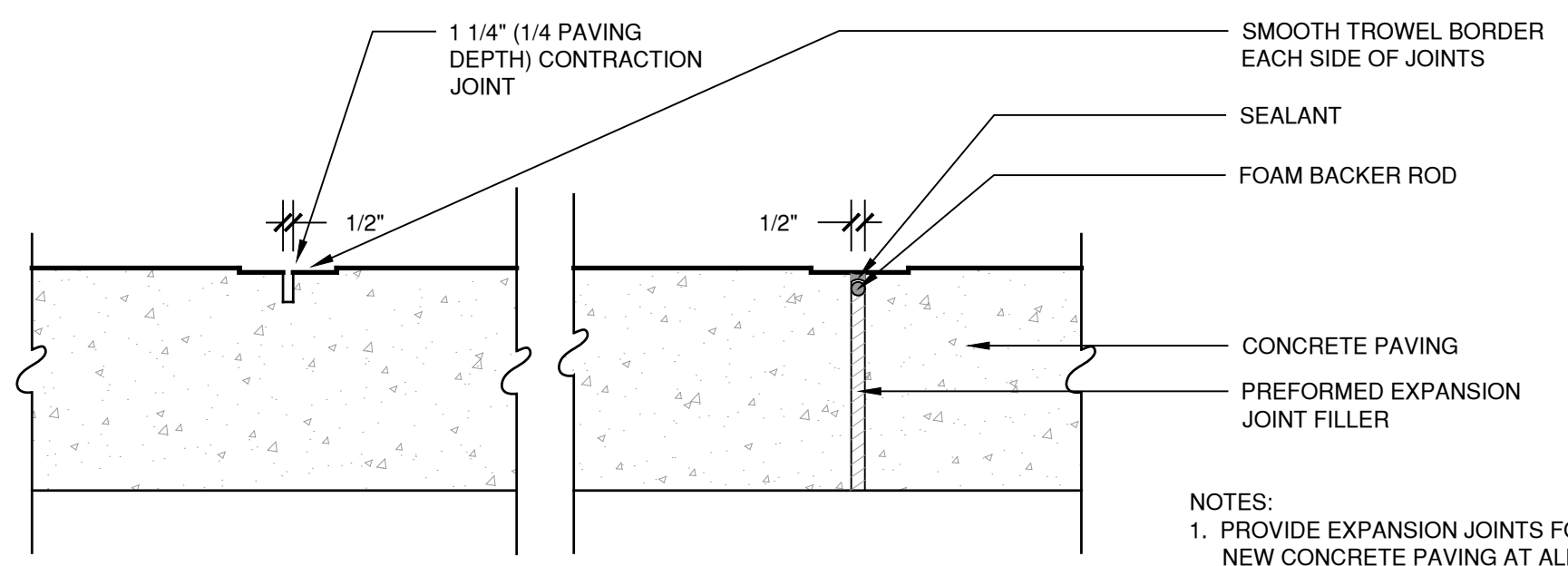
1 BITUMINOUS CONC. PAVEMENT
 SCALE 1 1/2" = 1'-0" (VEHICULAR)



4 CONCRETE WHEELSTOP
 SCALE 3/4" = 1'-0"

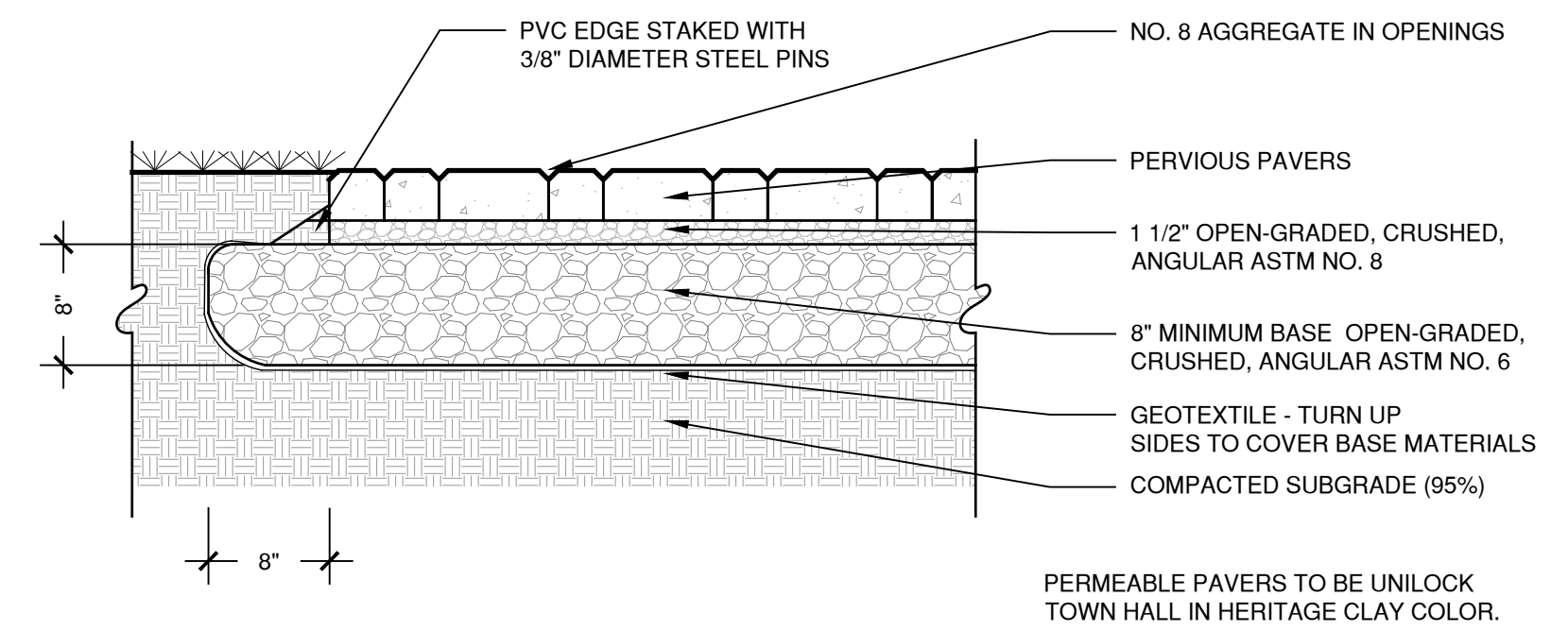


7 TYPICAL RESERVED PARKING LAYOUT
 SCALE 3/16" = 1'-0"

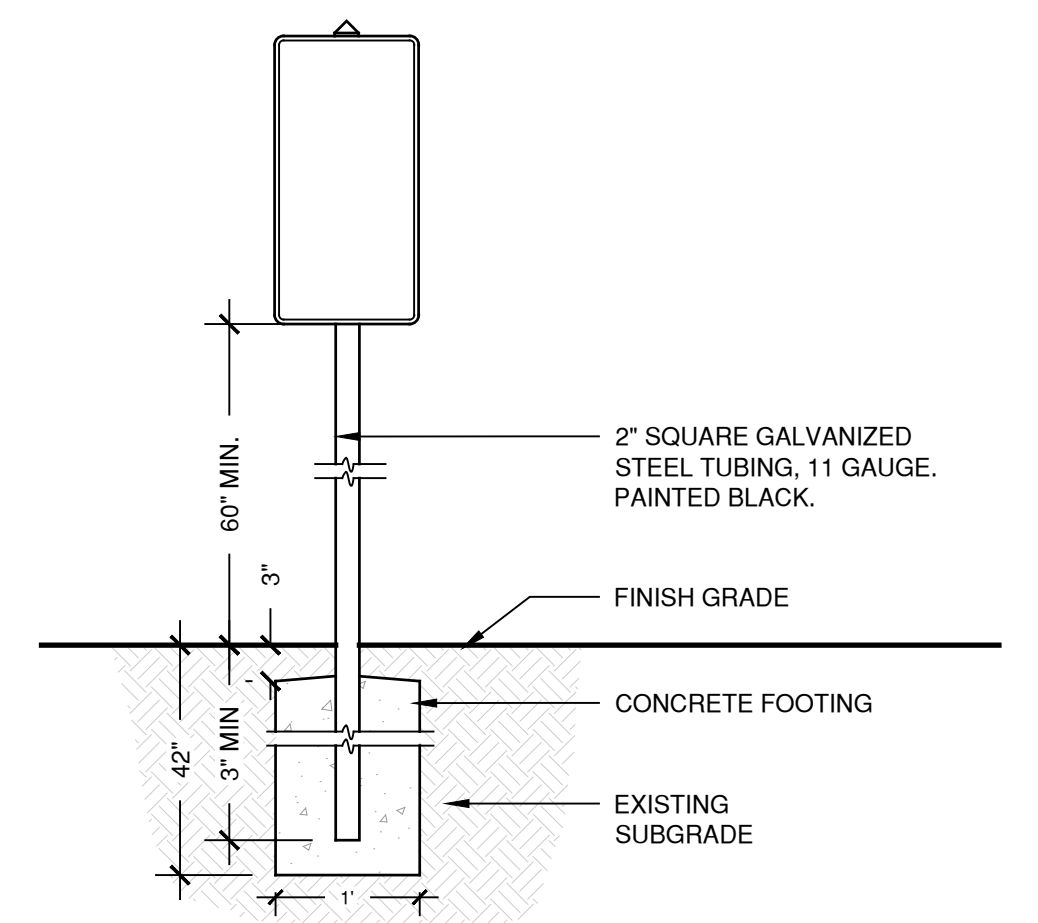


EXPANSION & CONTRACTION JOINTS

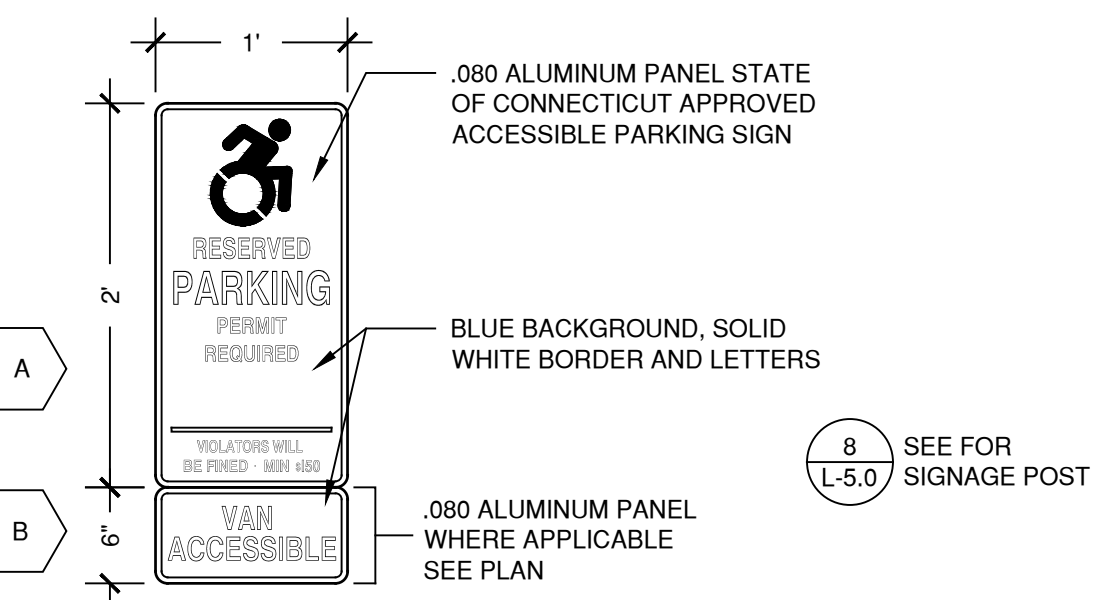
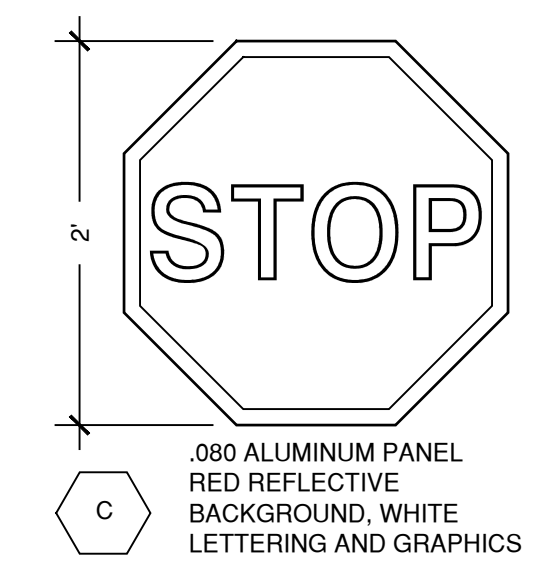
NOTES:
 1. PROVIDE EXPANSION JOINTS FOR NEW CONCRETE PAVING AT ALL CURBS, BUILDING WALLS, LIGHT POLE BASES, CONCRETE PAVING AND ALL OTHER FIXED MATERIALS.
 2. AIR CURING IS NOT ACCEPTABLE. SEE SPECIFICATIONS.



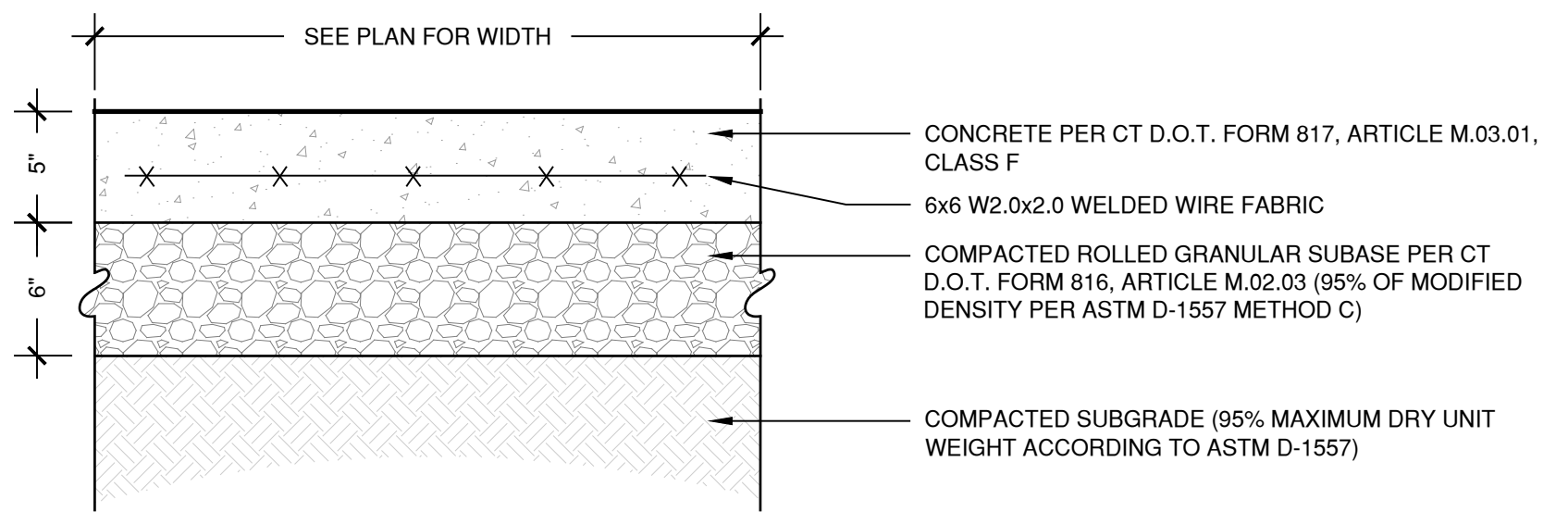
5 PERMEABLE PAVERS
 SCALE 1" = 1'-0"



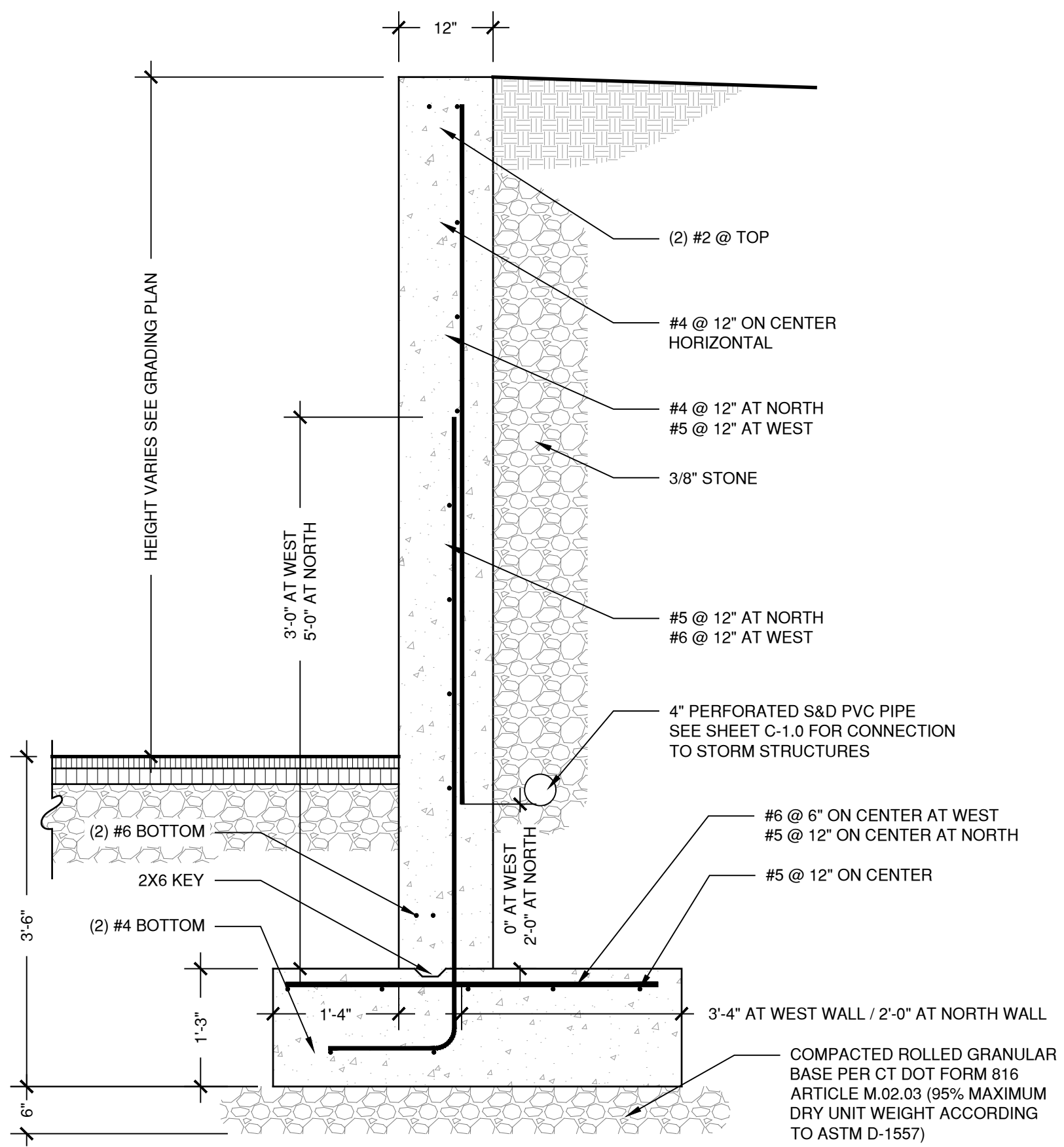
8 SIGNAGE POST
 SCALE 3/4" = 1'-0"



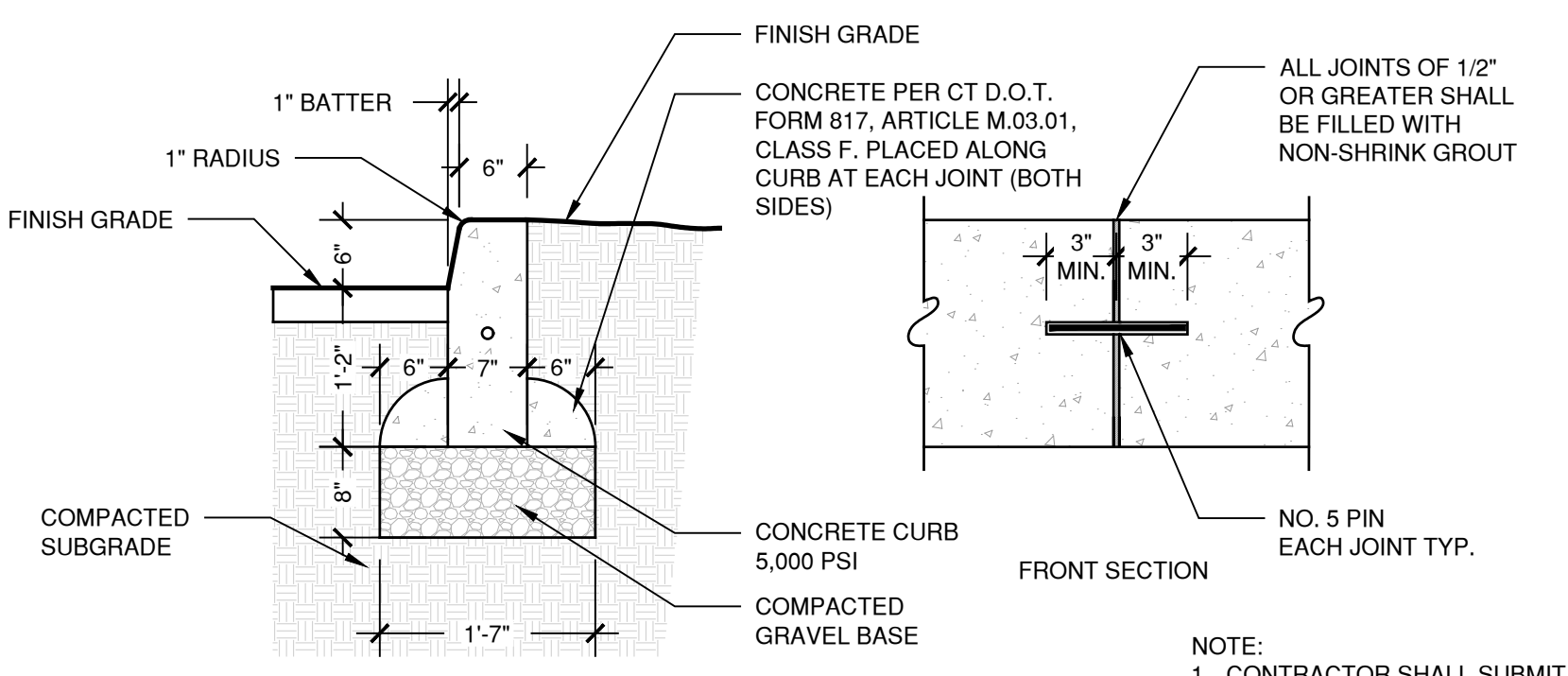
9 PROJECT SIGNAGE KEY
 SCALE 1" = 1'-0"



2 CONCRETE PAVEMENT
 SCALE 1 1/2" = 1'-0"



6 CONCRETE RETAINING WALL
 SCALE 3/4" = 1'-0"



3 PRECAST CONCRETE CURB
 SCALE 3/4" = 1'-0"

NOTE:
 1. CONTRACTOR SHALL SUBMIT SHOP DRAWING OF PRECAST CURB FOR APPROVAL.

HOLLEY PLACE

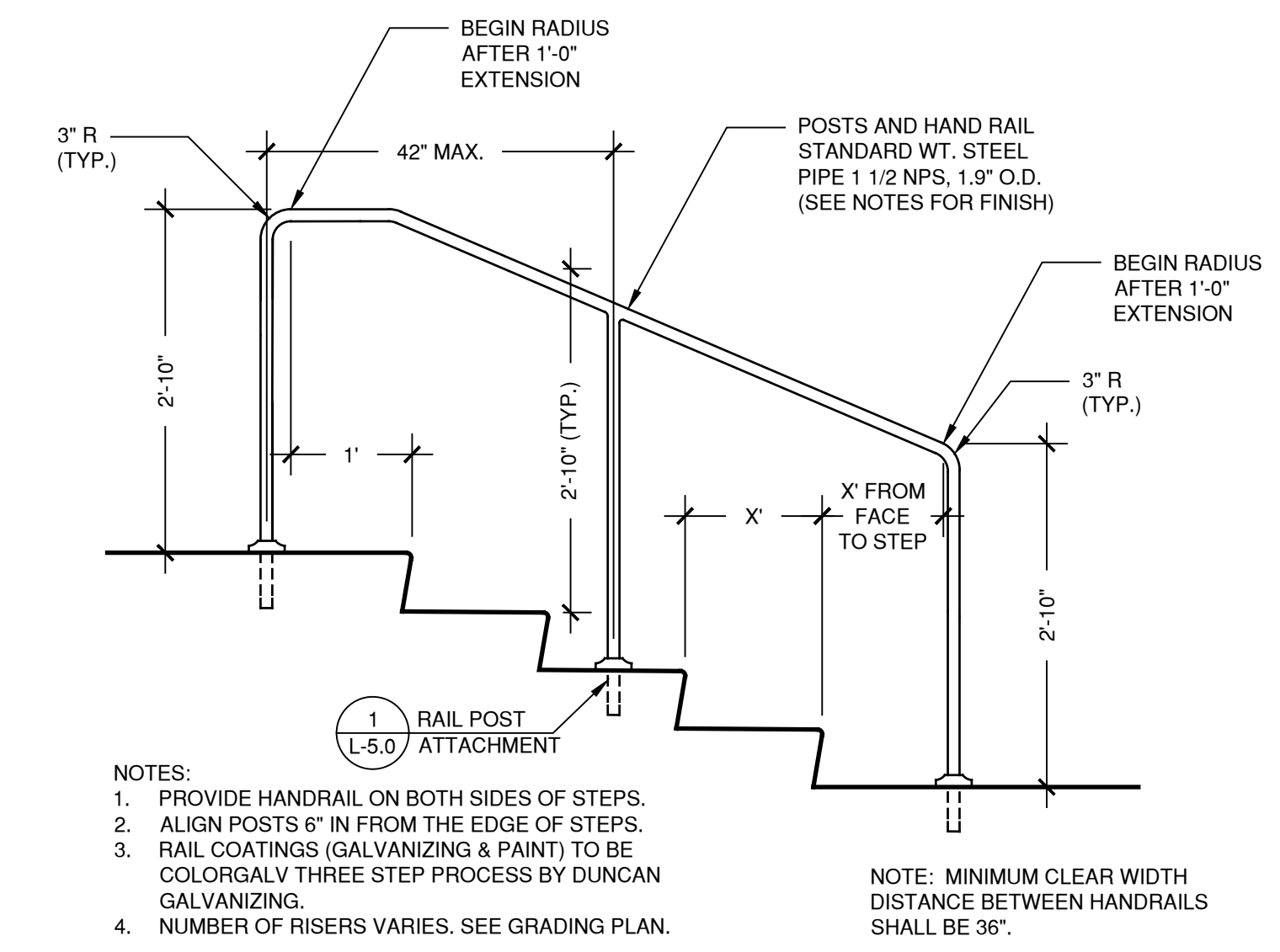
11 HOLLEY STREET
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Project #: 6342

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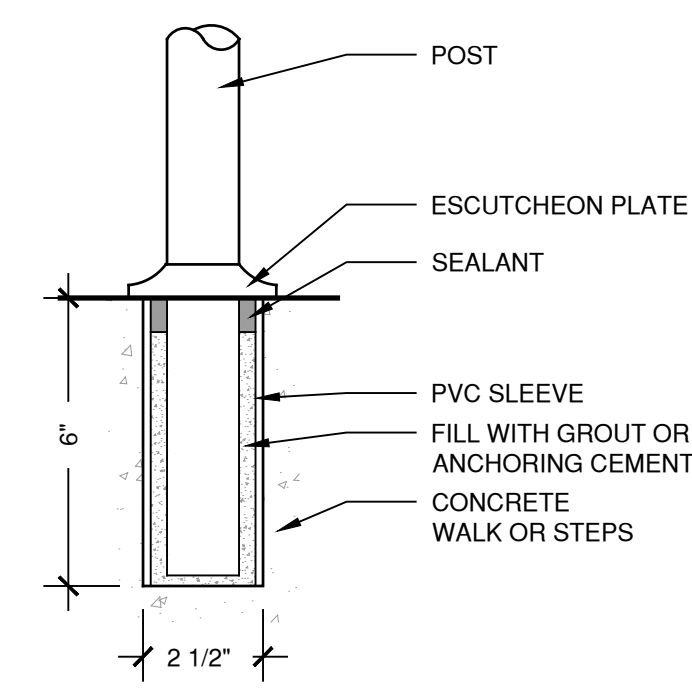
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L-5.1

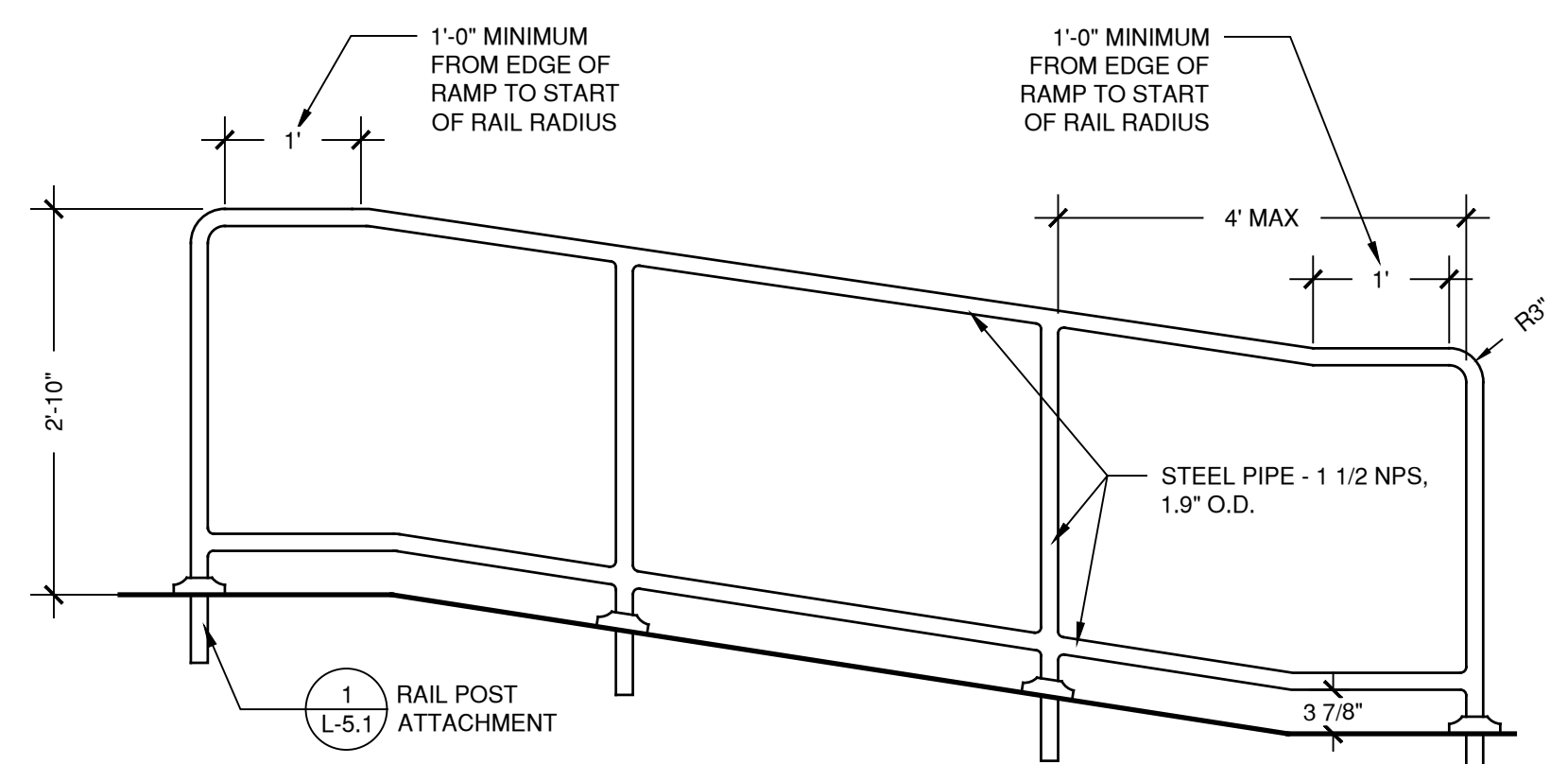


7 HAND RAIL AT STAIRS
SCALE 3/4\"/>

- NOTES:
1. PROVIDE HANDRAIL ON BOTH SIDES OF STEPS.
 2. ALIGN POSTS 6\"/>

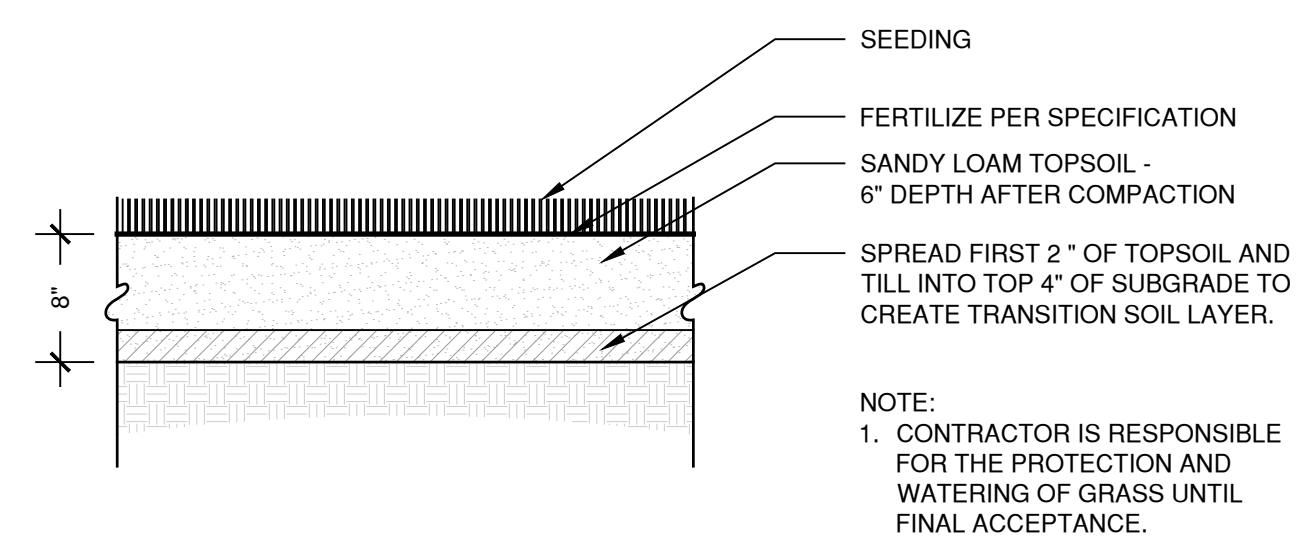


1 RAILING POST ATTACHMENT
SCALE 3\"/>



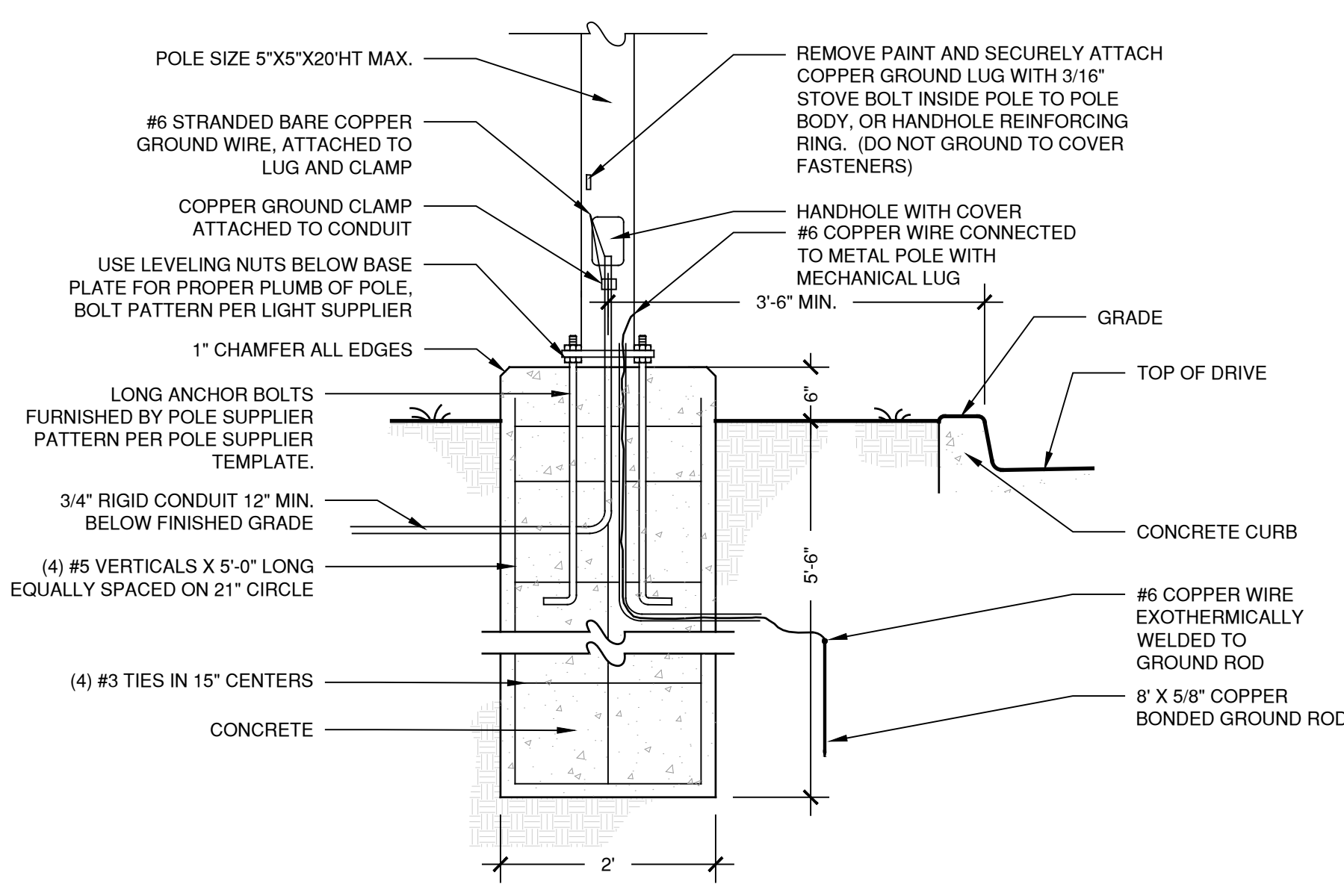
2 HAND RAIL AT RAMP
SCALE 3/4\"/>

- NOTES:
1. PROVIDE HANDRAIL ON BOTH SIDES OF RAMP.
 2. ALIGN POSTS 6\"/>



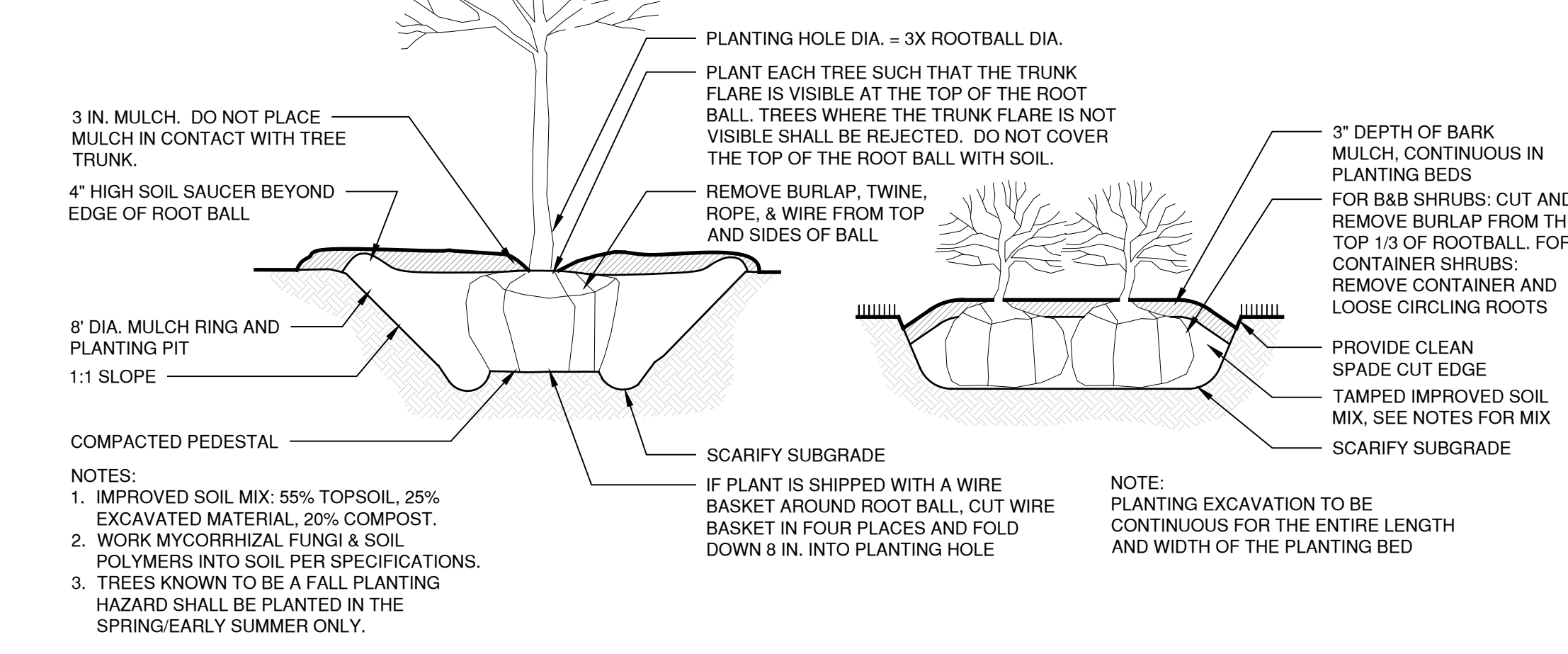
4 TOPSOIL/LAWN
SCALE 1\"/>

- NOTE:
1. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION AND WATERING OF GRASS UNTIL FINAL ACCEPTANCE.



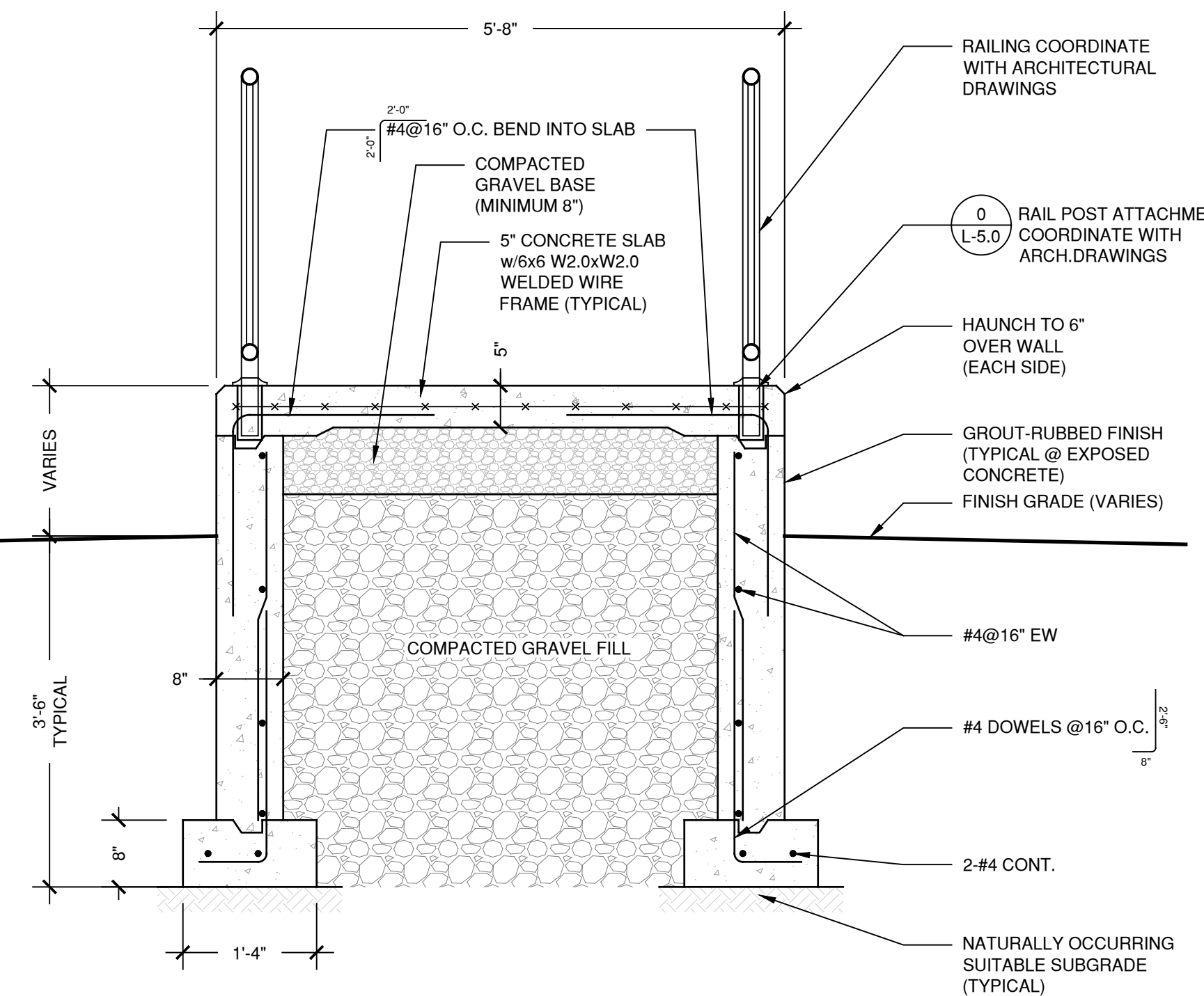
5 LIGHT POLE BASE
SCALE 3/4\"/>

- NOTES:
1. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 2. SPRAY WITH ANTI-DESSICANT IF FOLIAGE IS PRESENT.



6 TREE / SHRUB PLANTING
SCALE 1\"/>

- NOTES:
1. IMPROVED SOIL MIX: 55% TOPSOIL, 25% EXCAVATED MATERIAL, 20% COMPOST.
 2. WORK MYCORRHIZAL FUNGI & SOIL POLYMERS INTO SOIL PER SPECIFICATIONS.
 3. TREES KNOWN TO BE A FALL PLANTING HAZARD SHALL BE PLANTED IN THE SPRING/EARLY SUMMER ONLY.



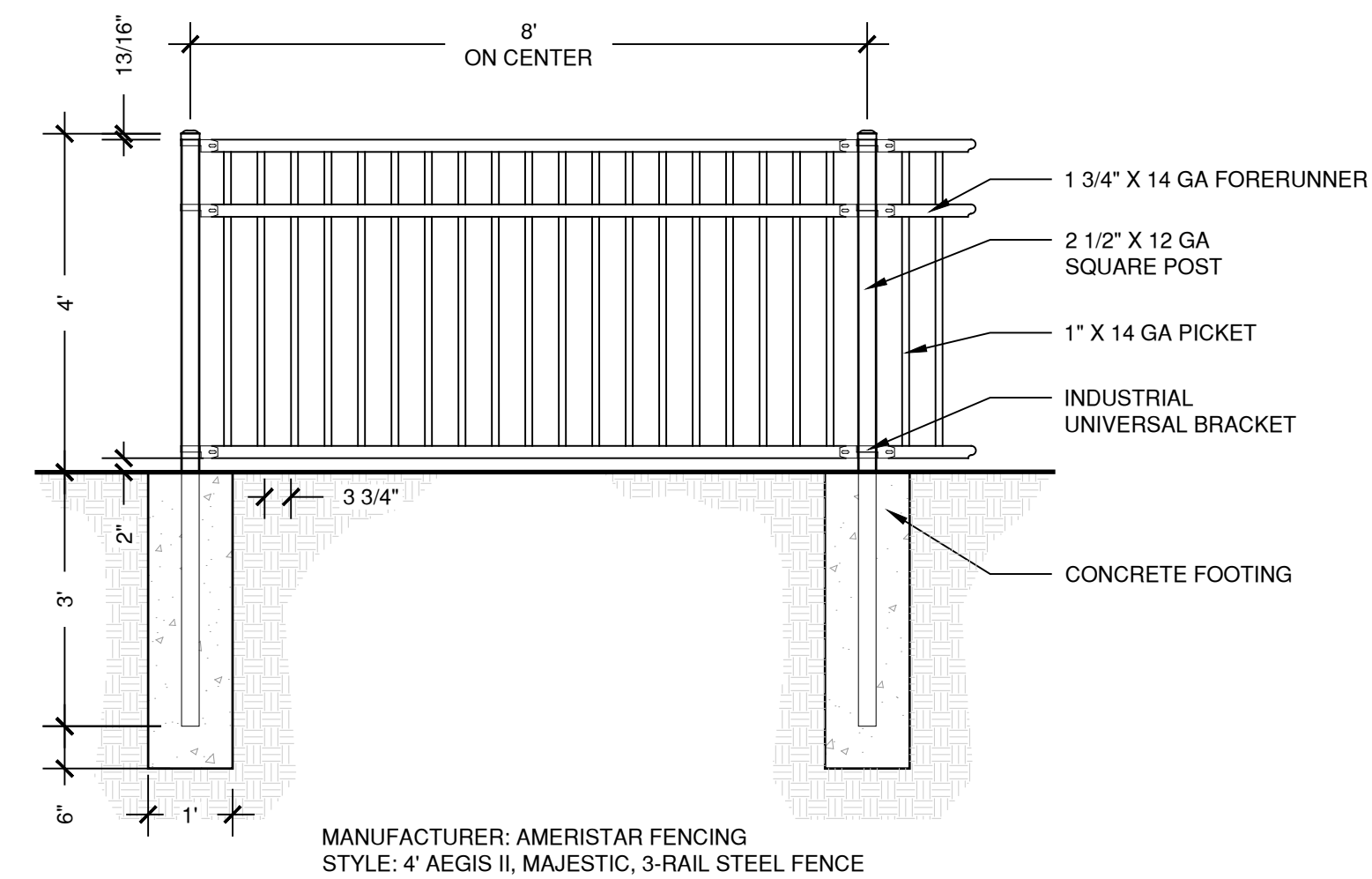
3 RAMP
SCALE 3/4\"/>

- NOTES:
1. PROVIDE HANDRAIL ON BOTH SIDES OF RAMP.
 2. ALIGN POSTS 6\"/>

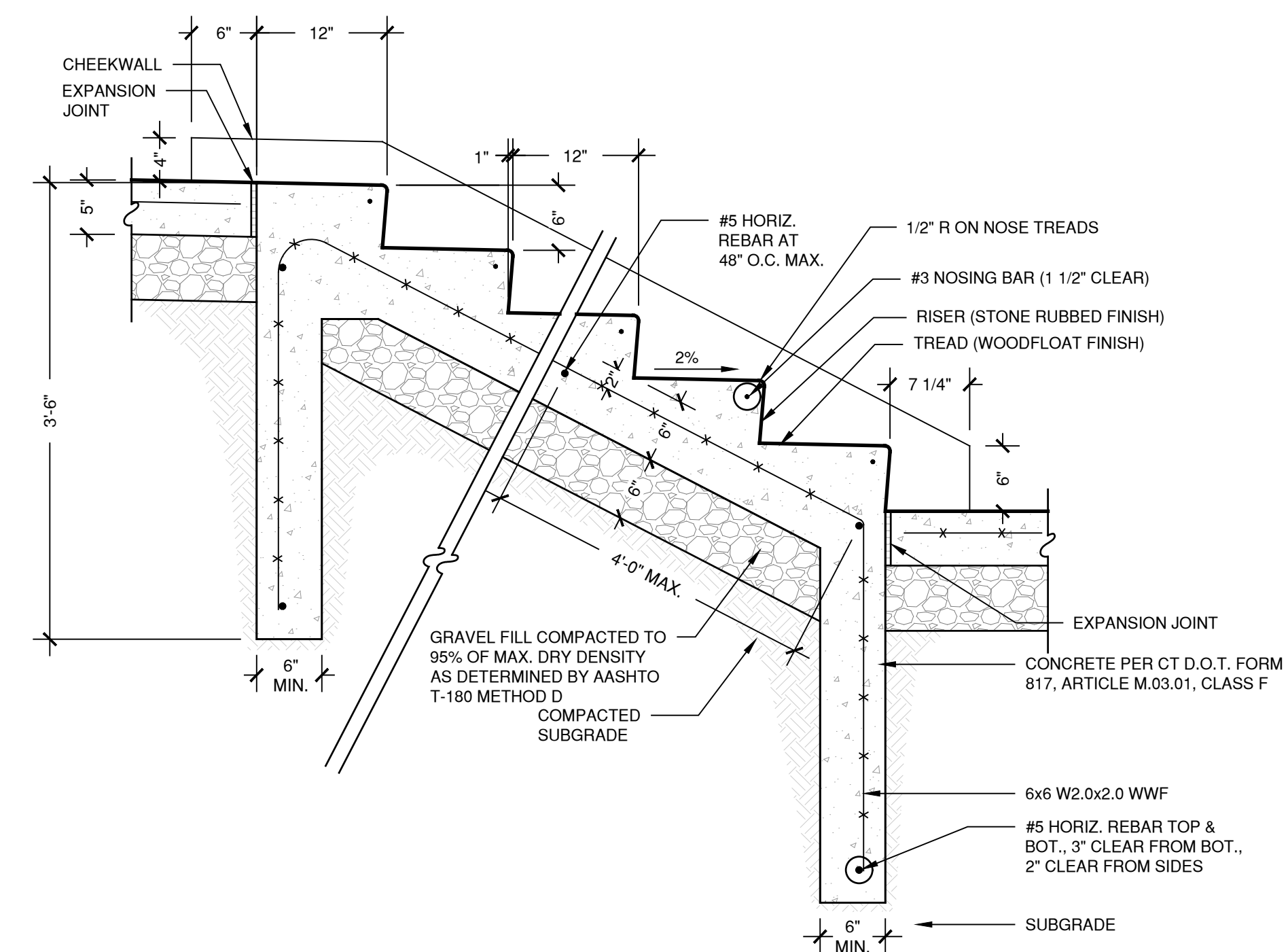
G:\Drawing Files\6342 - Salisbury HA Holley Block\DWG\6342-Details.dwg 2/3/2021 3:23:20 PM jlumsky

HOLLEY PLACE

11 HOLLEY STREET
 SALISBURY, CT
 Project #: 6342



1 4' ORNAMENTAL FENCE
 SCALE 1/2" = 1'-0"



2 CONCRETE STAIRS
 SCALE 1" = 1'-0"

Revisions

Issue Dates:

APPLICATION FOR SPECIAL PERMIT
 02.04.2021

Details

L-5.2

SEDIMENTATION AND EROSION CONTROL

PER STATE OF CONNECTICUT PUBLIC ACT 83-388

All applicable practices recommended by the 2002 CT Guidelines for Soil Erosion & Sediment Control are included by reference.

1. DESCRIPTION

The project consists of construction of a new building and site improvements that include new bituminous pavement, concrete walks, lighting, outdoor patio, and plantings.

2. SCHEDULE

The project is anticipated to begin construction in 2021.

3. DESIGN AND CRITERIA

Note: The Contractor shall name one individual as his Sediment and Erosion Control Supervisor whose primary responsibility will be the maintenance of all on-site erosion control measures. He will keep a daily log of his activities and an updated schedule of proposed construction activities. The log will be made available to inspectors.

A. GEOTEXTILE SILT FENCE (GSF) - Shall be non-woven material, minimum 36" high and fastened to wood stakes (see detail this sheet). Silt fence shall be installed with end turns rolled up grade at 45 degrees for a distance of 10 feet.

B. TEMPORARY SEEDING (TS)

- Contractor shall scarify the soil to a depth of 2" before applying fertilizer, limestone and seed.
- Seed may be applied by hand or mechanically. Seed application shall be uniform. Seed rate shall be in accordance with the 2002 Guidelines for Soil Erosion and Sediment Control (increase seeding rates by 10% when hydroseeding. Limestone, fertilizer and seed may be applied in slurry.)
- Contractor shall mulch area (MS) immediately following seeding. (Note: In the event seeding operations are not feasible due to seasonal restrictions or extended inclement weather patterns, the Contractor shall install an Erosion Control Blanket over exposed soils.)

C. PERMANENT SEEDING (PS)

- Contractor shall apply topsoil and fine grade all areas before the application of permanent seed. Apply limestone and fertilizer as needed, in accordance with soil tests.
- Remove all surface stones 1/2 inch and larger. Remove all other debris and rake seed bed.
- Apply seed within 7 days after establishing final grades. See planting plan.

D. HAY BALE BARRIER (HB) - Shall be made of hay or straw with 40 pounds minimum weight and 120 pounds maximum weight, held together by twine or wire. (See detail this sheet.)

E. CONSTRUCTION ENTRANCE (CE) - Shall be an angular stone (DOT Standard Spec Section M.01.01 size #3) pad, a minimum of 12' wide and 50' long. (See detail this sheet.)

F. EROSION CONTROL BLANKET (ECB) - Erosion mat shall be placed on all exposed cut/fill slopes steeper than 3:1 (including swales & ditches) to protect against rainfall and hold moisture content to enhance vegetation growth in seeded areas. Mat (or blankets) shall be straw or straw/coconut fiber combination sewn together with lightweight netting. Use North American green. S150 - slopes up to 3:1, SC150-slopes from 3:1 up to 2:1 or greater. Temporary hay mulch to be applied to areas less than 3:1 slope and all areas to be left barren over the winter, mulch rate to be 70 pounds/1000 s.f.

4. APPLICATION GENERAL PROCEDURES

- Soil erosion and sediment control measures will be installed prior to any site disturbance, and development will proceed according to a specific construction sequence. The objective is to maximize the reduction of sediment-laden runoff through implementation of conventional soil sedimentation and erosion control practices currently recommended by the 2002 "CT Guidelines for Soil Erosion and Sediment Control".
- Earthwork will be scheduled for periods when soil saturation is low and Soil loss hazard is at a minimum.
- Suspend earthwork for major storm events and implement additional sedimentation and erosion control measures as necessary.
- There shall be no cuts or fill left exposed for longer than 30 days. The established procedure of temporarily seeding and/or cover with erosion protection (mat or hay) shall be followed to insure minimal soil loss.

5. MONITORING AND MAINTENANCE PROGRAM

- For the duration of the project construction, the Contractor shall maintain all sedimentation and erosion control devices to insure their efficient operation.
- The responsibility for performing periodic checks of the protection system in-place and to coordinate cleaning and repair operations shall be assigned to the General Contractor's project representative.
- All sedimentation and erosion control devices shall be checked for the adequacy of the control systems prior to severe storm weather forecasts. Inspect control system during and after storms to determine necessary repairs.
- Repairs to sedimentation control systems directed by the project representative shall be done within 24 hours of the directive or as soon as possible prior to storm warnings.
- Replacement materials for the devices utilized must be readily available for repairs.
- Clean sedimentation and erosion control devices as directed by the projects representative.
- Placement of temporary sedimentation and erosion control devices that are not shown on plans, but are required due to Contractor's operations, shall be placed at the direction of the projects representative.
- Dust control and off-site debris caused by the Contractor's earthwork operations shall be prevented, or cleaned-up in accordance with the standard state specification "Form 816".

6. SPECIFIC MAINTENANCE MEASURES SHALL BE AS FOLLOWS:

A. GEOTEXTILE SILT FENCE (GSF) - Inspect GSF at least once a week and within 24 hours of the end of any storm event of 0.5-inch or greater. Repair or replace the fence within 24-hours of observed failure.

B. HAY BALE BARRIER (HB) - Inspect HB at least once a week and within 24 hours of the end of any storm event of 0.5-inch or greater. Repair or replace the hay bales within 24-hours of observed failure.

C. CONSTRUCTION ENTRANCE (CE) - Maintain the entrance in a condition which will prevent tracking and washing of sediment onto paved surfaces. Provide periodic top dressing with additional stone or additional length as conditions demand. Repair any measures used to trap sediment as needed. Immediately remove all sediment spilled, dropped, washed or tracked onto paved surfaces. Roads adjacent to a construction site shall be left clean at the end of each day.

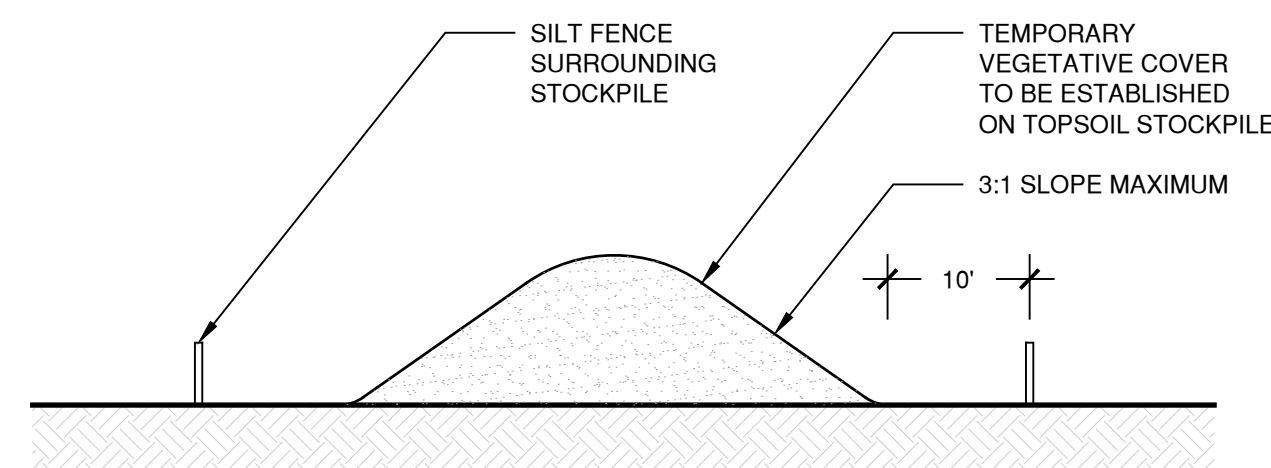
If the construction entrance is being properly maintained and the action of a vehicle traveling over the stone pad is not sufficient to remove the majority of the sediment, then either (1) increase the length of the construction entrance, (2) modify the construction access road surface, or (3) install washing racks and associated settling area or similar devices before the vehicle enters a paved surface.

D. SEEDING (TEMPORARY & PERMANENT)

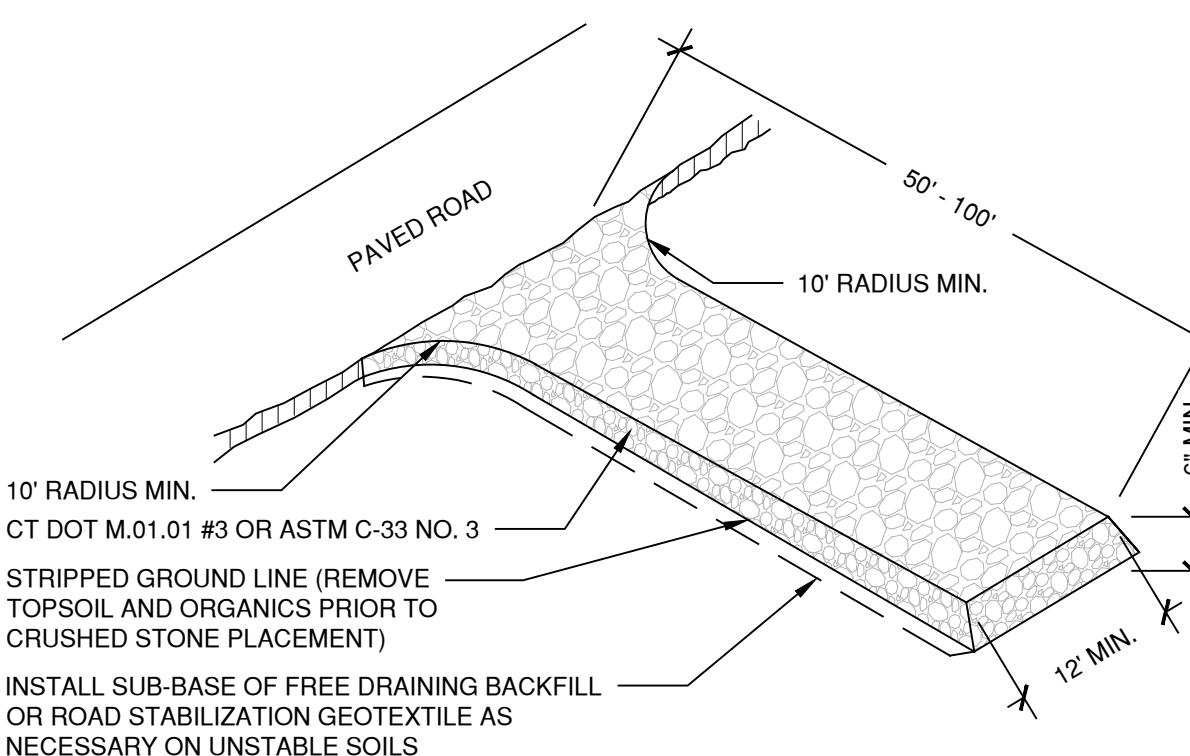
Inspect seeded area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and rill erosion.

Where seed has moved or where soil erosion has occurred, determine the cause of the failure. Bird feeding may be a problem if mulch was applied too thinly to protect seed. Re-seed and re-mulch. If movement was the result of wind, then repair erosion damage (if any), reapply seed and mulch and apply mulch anchoring. If failure was caused by concentrated runoff, install additional measures to control water and sediment movement, repair erosion damage, re-seed and re-apply mulch with anchoring or use Temporary Erosion Control Blanket measure.

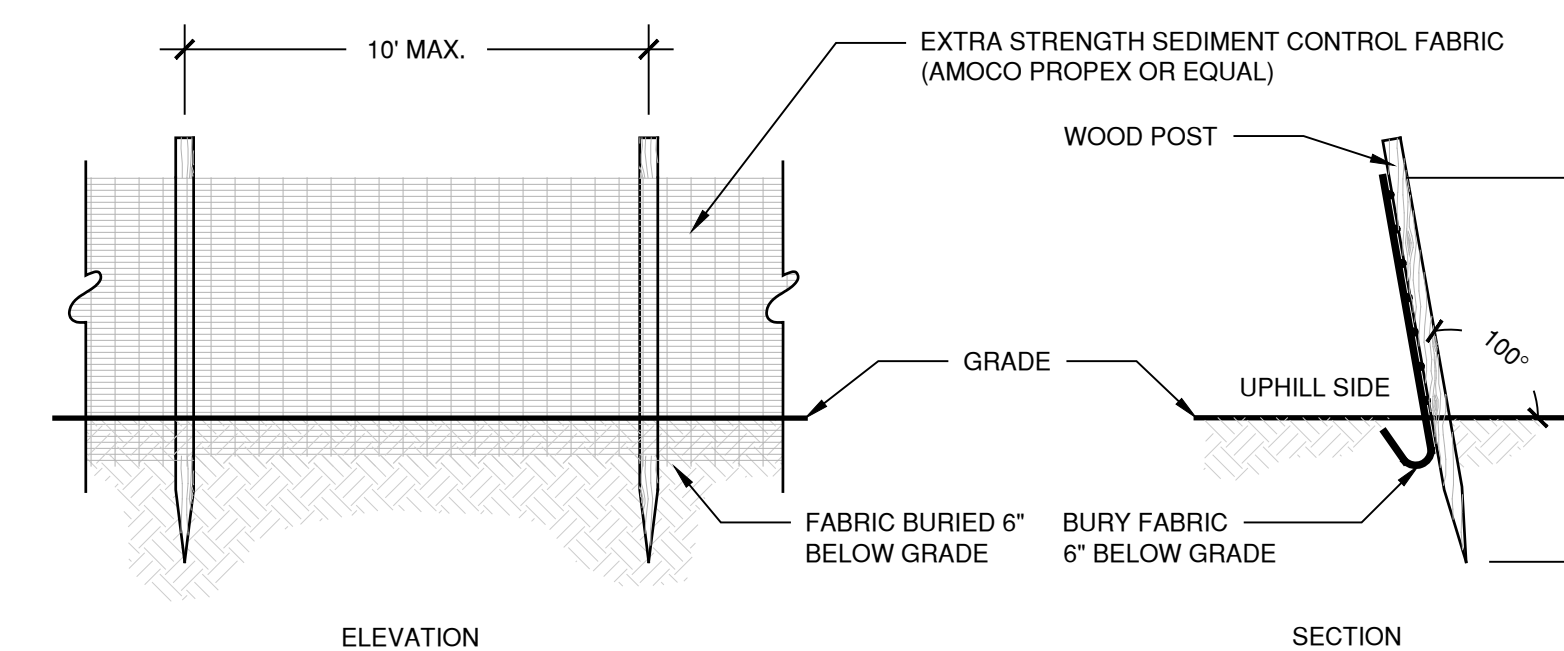
Continue inspections until the grasses are firmly established. Grasses shall not be considered established until a ground cover is achieved which is mature enough to control soil erosion and to survive severe weather conditions (approximately 80% vegetative surface cover).



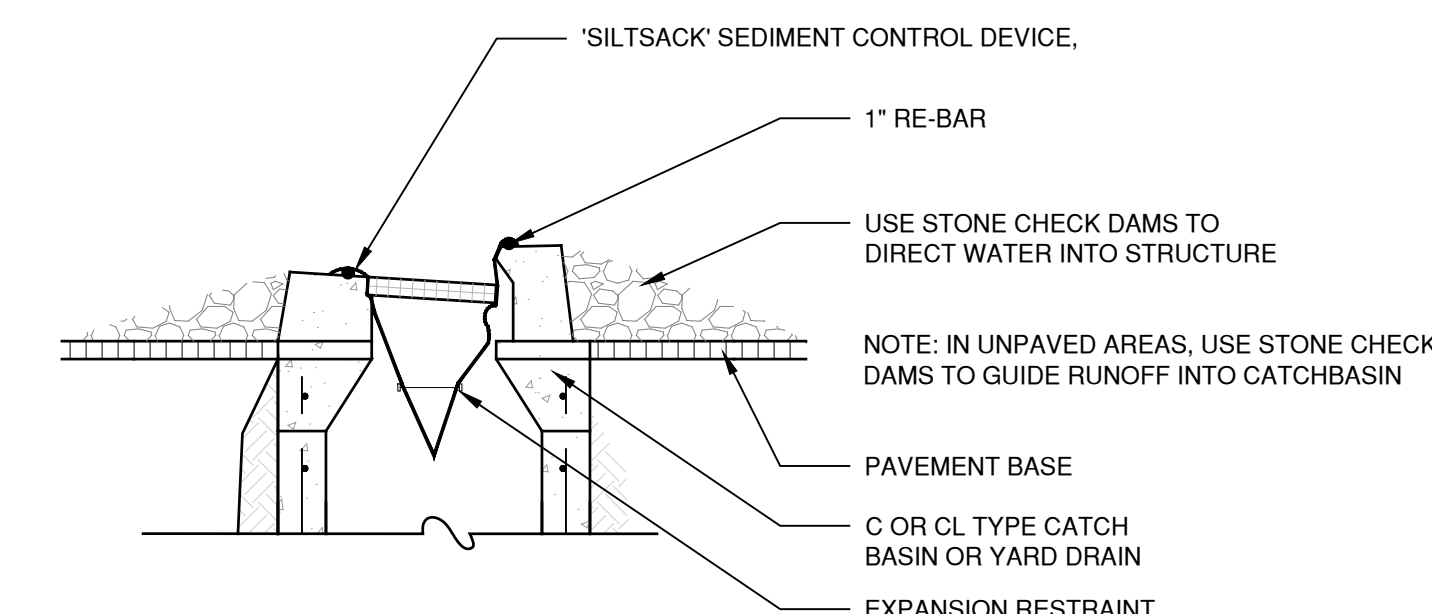
1 TOPSOIL STOCK PILE AREA
N.T.S.



2 CONSTRUCTION ENTRANCE (CE)
N.T.S.



3 GEOTEXTILE SILT FENCE (GSF)
N.T.S.



4 SILT SACK (SS)
N.T.S.

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SITE DESIGN
LANDSCAPE ARCHITECTURE
URBAN PLANNING

HOLLEY PLACE

11 HOLLEY STREET
SALISBURY, CT
Project #: 6342

Revisions

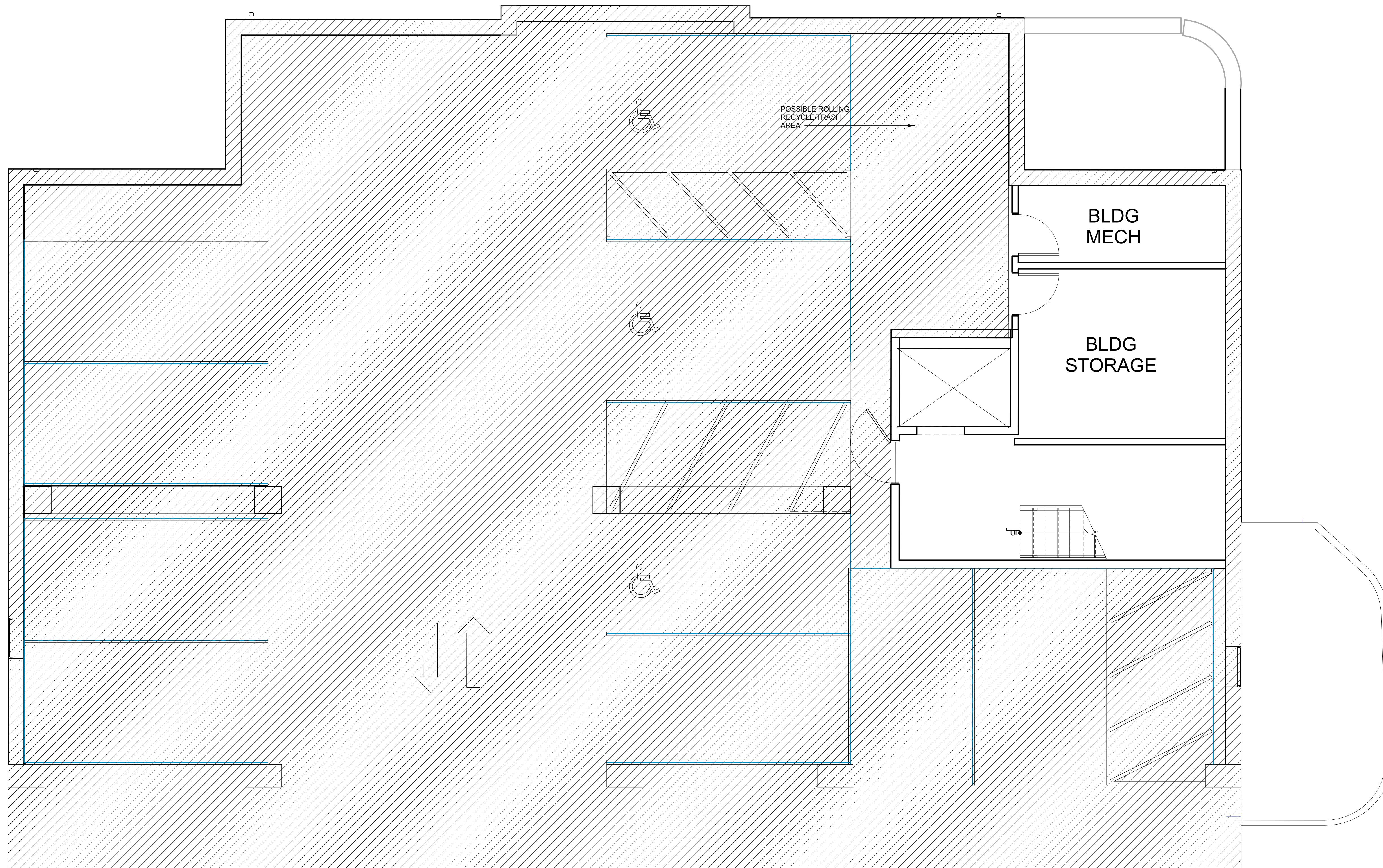
Issue Dates:

APPLICATION FOR SPECIAL PERMIT
02.04.2021

**Erosion & Soil
Sedimentation Control
Notes and Details**

ES-1

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LINE OF BUILDING ABOVE

QA+M

architecture

Quisenberry Arcari Malik

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Farmington, CT 06032

qamarch.com

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PROJECT DESCRIPTION:

HOLLEY PLACE

SALISBURY, CONNECTICUT

Project #: **QAM1984**

Revisions

Issue Dates:

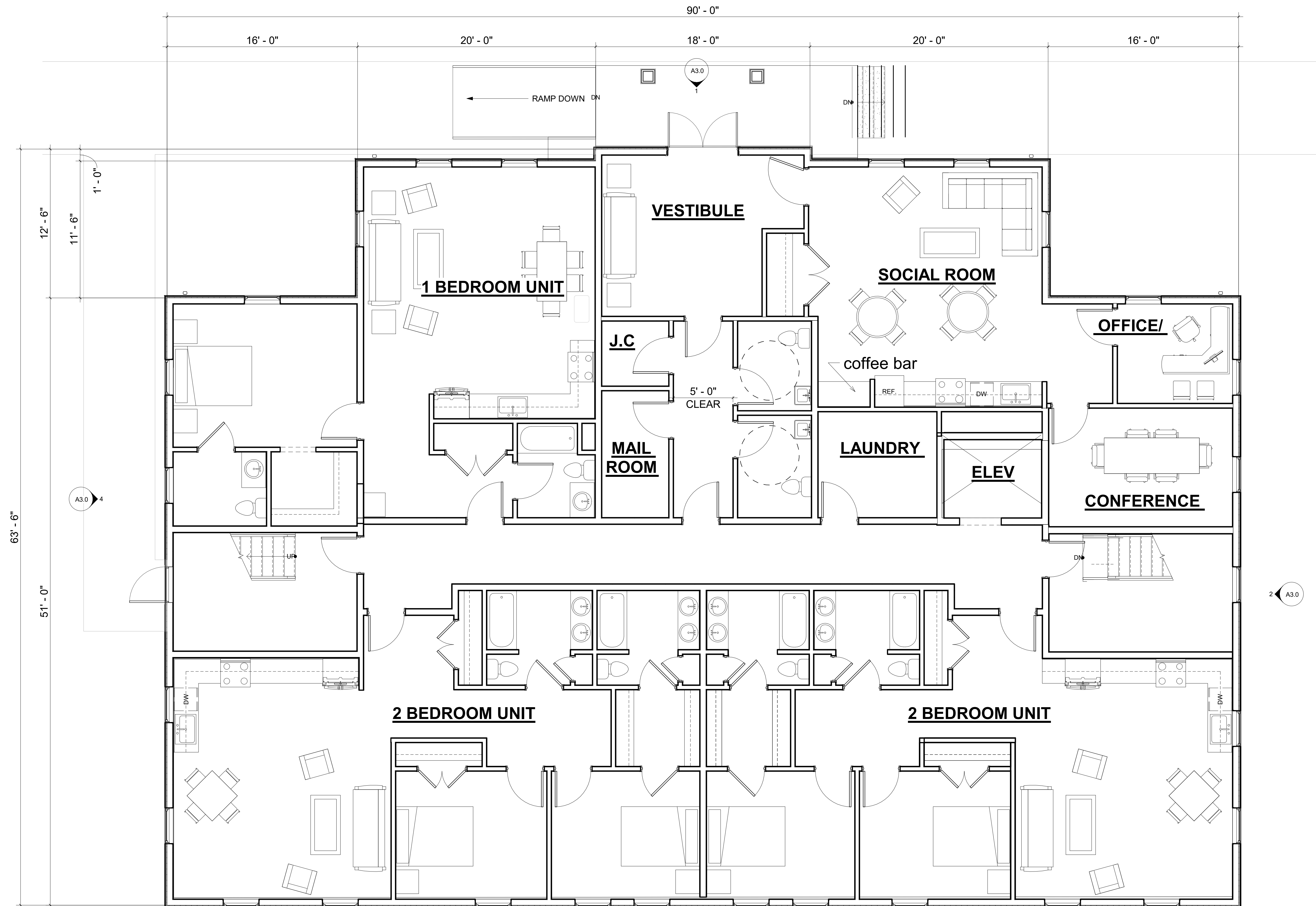


Planning and Zoning
02.03.2021

PARKING LEVEL FLOOR PLAN

A1.0

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SALISBURY, CONNECTICUT
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Revisions
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Planning and Zoning
 02.03.2021

MAIN FLOOR PLAN

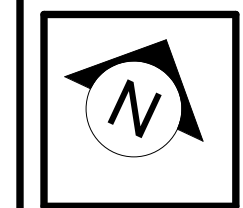
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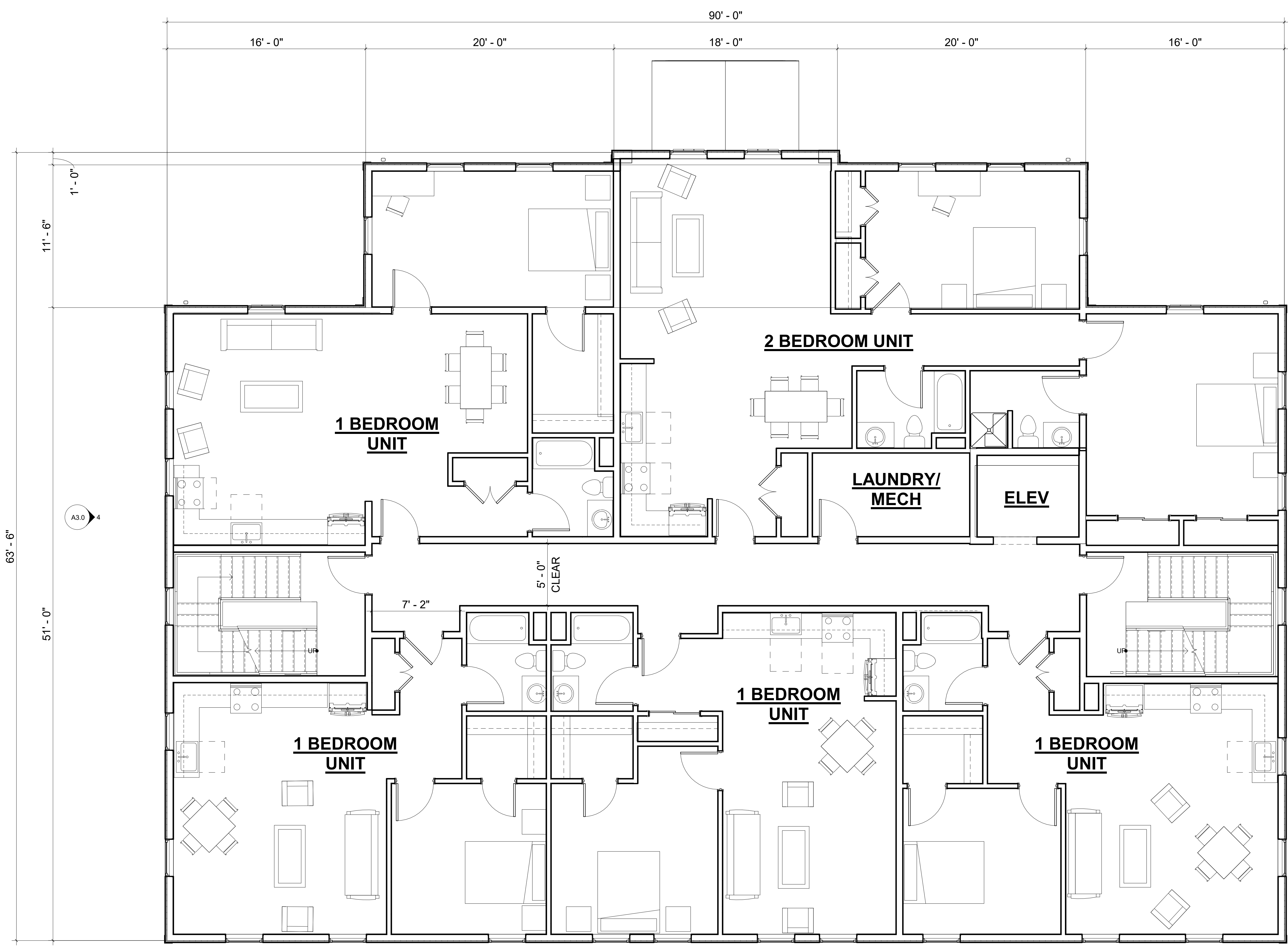
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Issue Dates:



Planning and Zoning
02.03.2021

SECOND FLOOR

A1.2



16' - 0" 20' - 0" 18' - 0" 20' - 0" 16' - 0"

90' - 0"

11' - 6"

1' - 0"

63' - 6"

51' - 0"

A3.0

A3.0

A3.0

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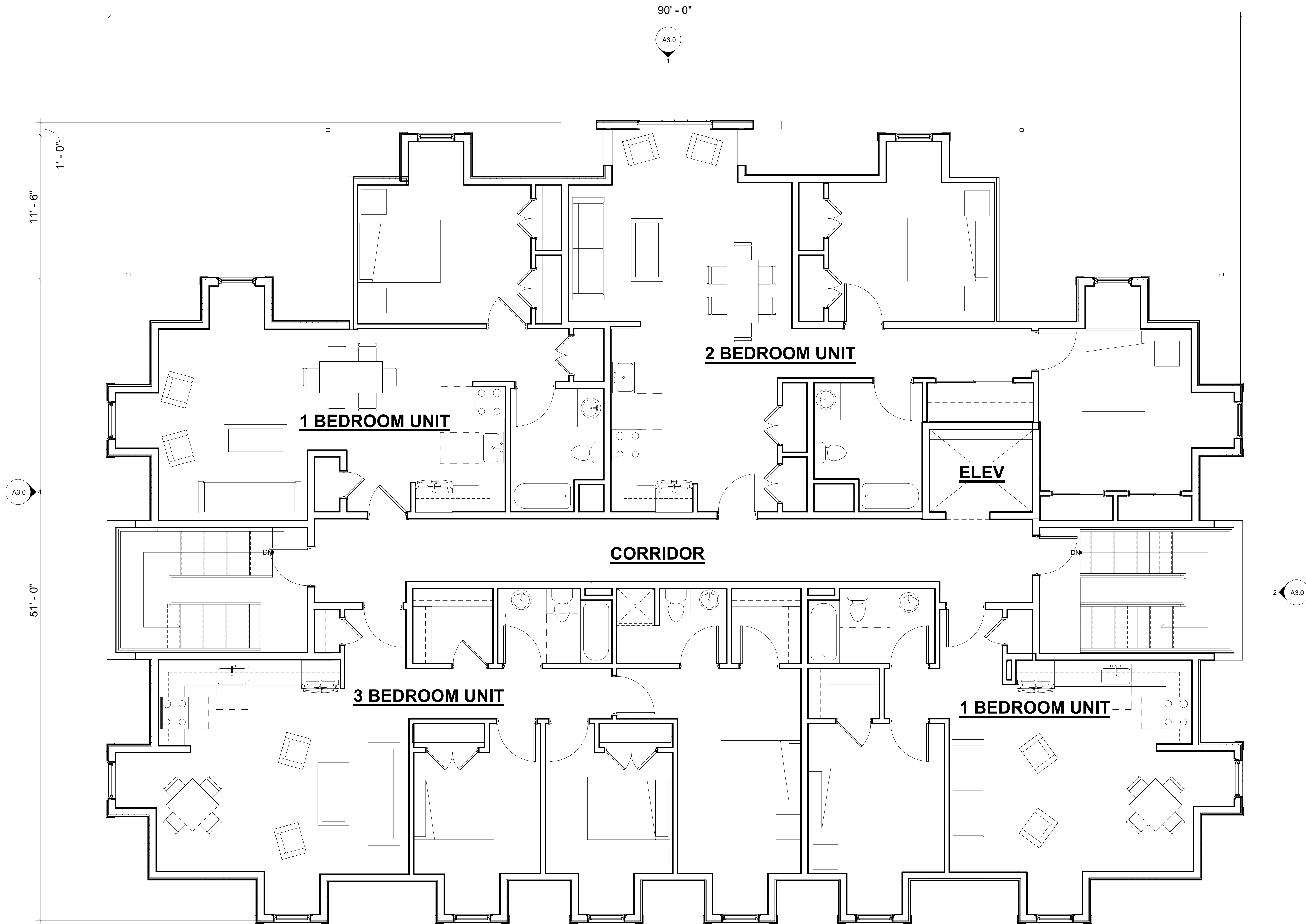
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THIRD FLOOR

A1.3



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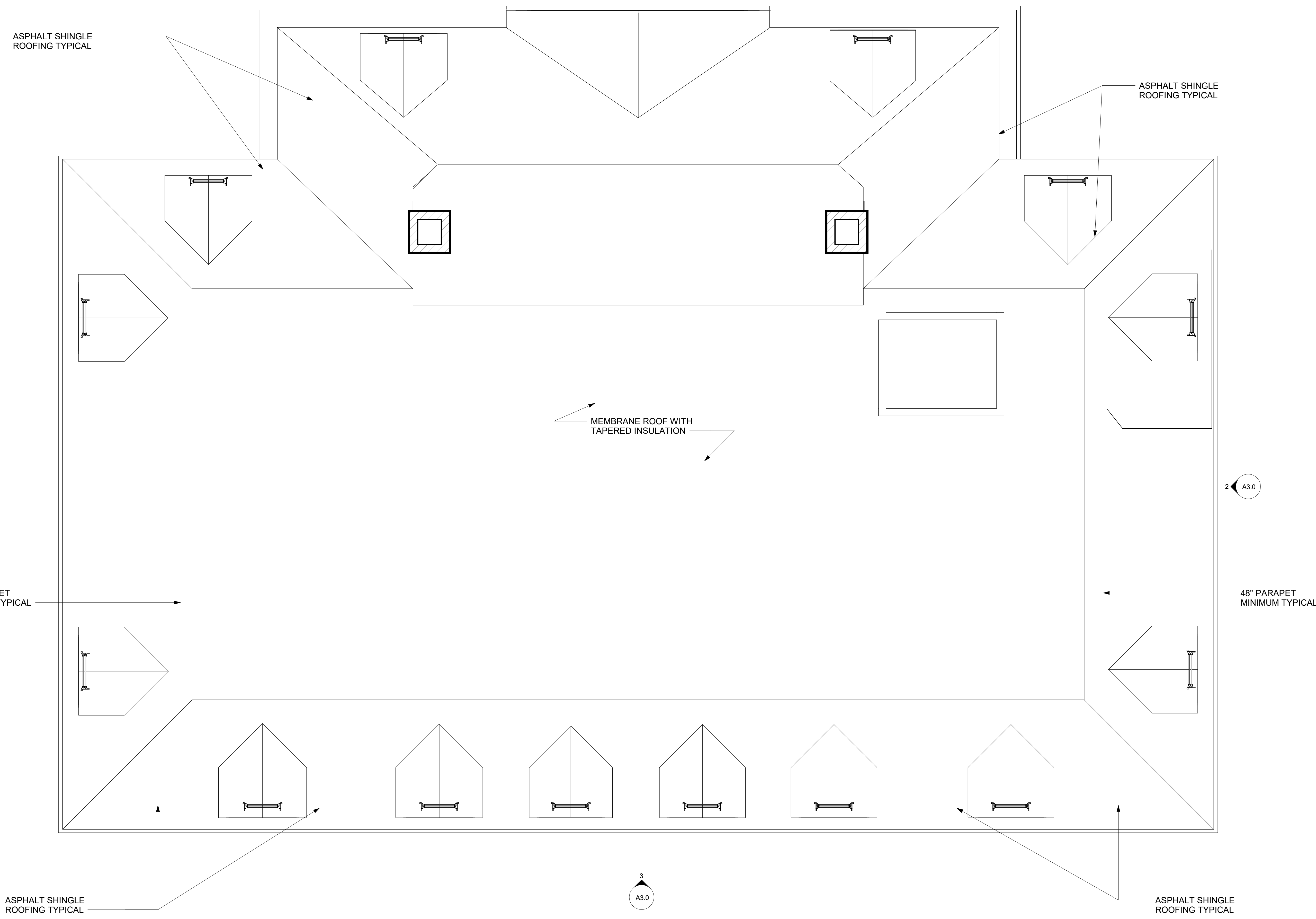
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 Project #: **QAM1984**

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 Issue Dates:

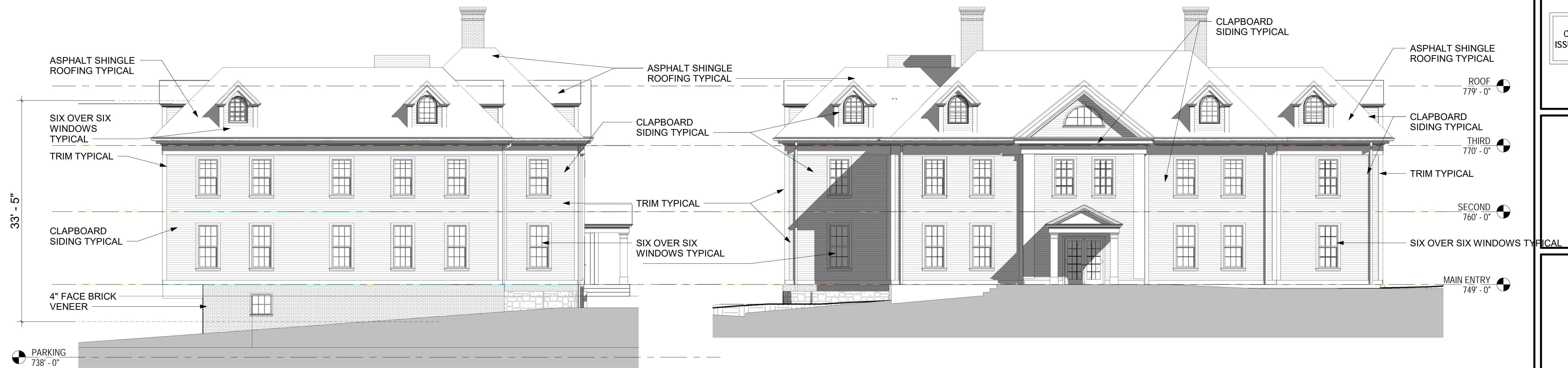
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 02.03.2021

ROOF PLAN

A1.4



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2 **HOLLEY STREET**
 A3.0 1/8" = 1'-0"

1 **MAIN STREET**
 A3.0 1/8" = 1'-0"



4 **WEST**
 A3.0 1/8" = 1'-0"

3 **SOUTH**
 A3.0 1/8" = 1'-0"

PROJECT DESCRIPTION:
HOLLEY PLACE
SALISBURY, CONNECTICUT
 Project #: **QAM1984**

Revisions
 Issue Dates:

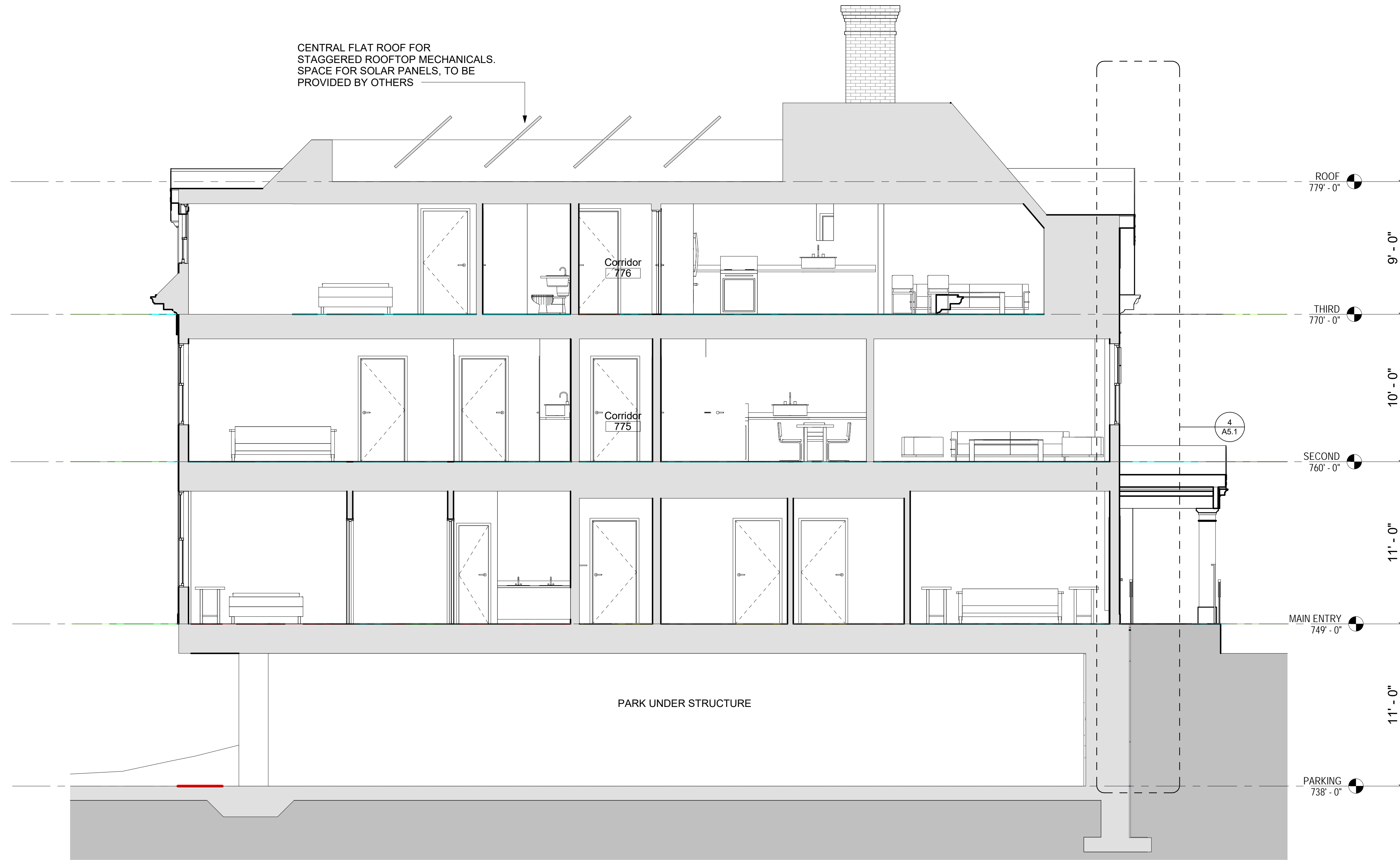
Planning and Zoning
 02.03.2021

EXTERIOR ELEVATIONS
A3.0

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1 Section 12
 A4.0 1/4" = 1'-0"

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SALISBURY, CONNECTICUT
 Project #: QAM1984

Revisions
 Issue Dates:

Planning and Zoning
 02.03.2021

BUILDING SECTIONS

A4.0



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Planning and Zoning
02.03.2021

RENDERINGS

PR1.0