



SITE DESIGN
LANDSCAPE ARCHITECTURE
URBAN PLANNING

PROJECT: Holley Place: 11 Holley Street
DATE: 04.12.2021
TO: ABBY CONROY, LAND USE ADMINISTRATOR
 TOWN OF SALISBURY
 27 Main Street
 Salisbury, CT 06068
FROM: JONATHAN TUNSKY, PLA
 Ext. 110

ORIGINAL

TRANSMIT: ATTACHED UNDER SEPARATE COVER

VIA: MAIL EMAIL FEDEX
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FOR: APPROVAL INFORMATION AS REQUESTED
 COMMENT DISTRIBUTION OTHER

THE FOLLOWING: DRAWINGS SPECIFICATIONS OTHER
 SUBMITTALS DIGITAL FILES

| # OF COPIES | DESCRIPTION |
|-------------|---|
| 2 | 24"x36" revised special permit plans (L-2.0, L-3.0, L-4.0) revised 4/7/21 |
| 2 | Storm Water Management Report |
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REMARKS:

SIGNED: Jon Tunsky

JOB #: 6342

HOLLEY PLACE

11 HOLLEY STREET
SALISBURY, CT
Project #: 6342



Revisions 04.08.21

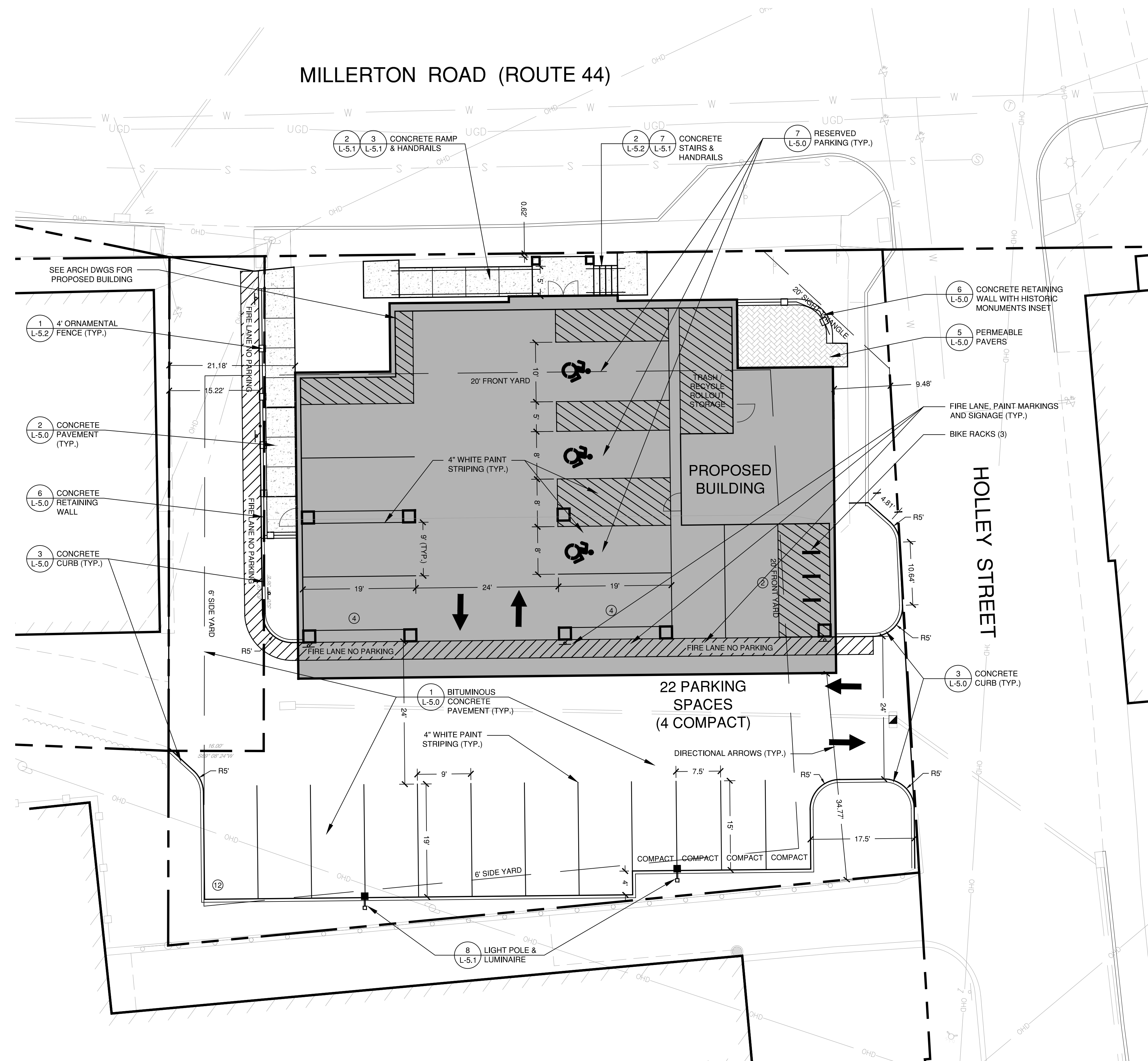
Issue Dates:

APPLICATION FOR SPECIAL PERMIT
02.04.2021

Layout Plan

L-2.0

MILLERTON ROAD (ROUTE 44)



LAYOUT NOTES

- THE CONTRACTOR SHALL COMPLY WITH ALL STATE, LOCAL AND FEDERAL REGULATIONS.
- MATERIALS AND CONSTRUCTION PROCEDURES SHALL COMPLY WITH CT DOT FORM 816/817 AND THE TOWN OF SALISBURY SPECIFICATIONS.
- CONTRACTOR TO SECURE ALL NECESSARY TRADE PERMITS.
- NEW PAVEMENT TO MEET LINE & GRADE OF EXISTING PAVEMENTS.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONSTRUCTION ACTIVITIES.
- LOAM AND SEED ALL DISTURBED AREAS NOT COVERED BY OTHER IMPROVEMENTS.
- ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED.
- ALL LOCATIONS WHERE EXISTING CURBING, BITUMINOUS CONCRETE ROADWAY OR CONCRETE ROADWAY OR CONCRETE SIDEWALK ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO PROVIDE A CLEAN, SMOOTH EDGE. TACK COAT EXPOSED EDGES OF EXISTING CONCRETE PRIOR TO PLACEMENT OF NEW BITUMINOUS CONCRETE PAVEMENT.
- FIELD ADJUSTMENTS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE AND APPROPRIATE MUNICIPAL OFFICIALS PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE VERTICAL AND HORIZONTAL POSITION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL CONTROL DUST CAUSED BY HIS OPERATIONS BY APPLYING WATER OR DUST PALLIATIVE, OTHER THAN CALCIUM CHLORIDE.
- CONTRACTOR SHALL CONTROL NOISE TO AS GREAT AN EXTENT AS POSSIBLE. ALL POWER EQUIPMENT USED DURING CONSTRUCTION SHALL BE EQUIPPED WITH MUFFLERS.
- MANUFACTURED ITEMS SHALL BE INSTALLED, CONNECTED AND CLEANED ACCORDING TO THE MANUFACTURERS DIRECTIONS.
- PRIOR TO PROJECT CLOSE-OUT, CONTRACTOR SHALL REMOVE ALL DEBRIS AND EXCESS MATERIALS FROM SITE. ALSO, ANY DAMAGE TO FIELD OR FACTORY APPLIED FINISHES SHALL BE REPAIRED.
- EXPANSION AND SCORE JOINTS FOR NEW CONCRETE WALKS SHALL BLEND TO MATCH EXISTING PATTERNS. CONTRACTOR TO ARRANGE TIMELY ON-SITE CONFERENCES WITH LANDSCAPE ARCHITECT TO APPROVE LAYOUT OF JOINT PATTERNS.
- PROVIDE EXPANSION JOINTS FOR NEW CONCRETE PAVING AT ALL CURBS, BUILDING WALLS, SITE WALLS, STAIRS, EXISTING CONCRETE PAVING, AND ALL OTHER FIXED MATERIALS. MAXIMUM DISTANCE BETWEEN EXPANSION JOINTS SHALL NOT EXCEED 25 FEET.

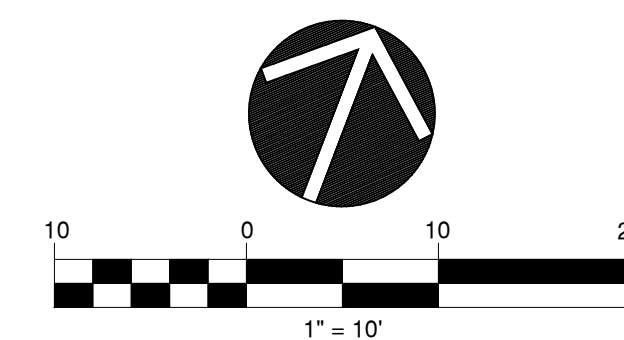
LEGEND

| EXISTING | PROPOSED |
|----------|-------------------|
| | PROPERTY LINE |
| | YARD LINE |
| | BUILDING |
| | CURB |
| | GUARD RAIL |
| | ORNAMENTAL FENCE |
| | CONCRETE PAVEMENT |
| | EXPANSION JOINT |
| | CONTROL JOINT |
| | LIGHT |
| | SIGN |
| | DETAIL NAME |

ZONING INFORMATION

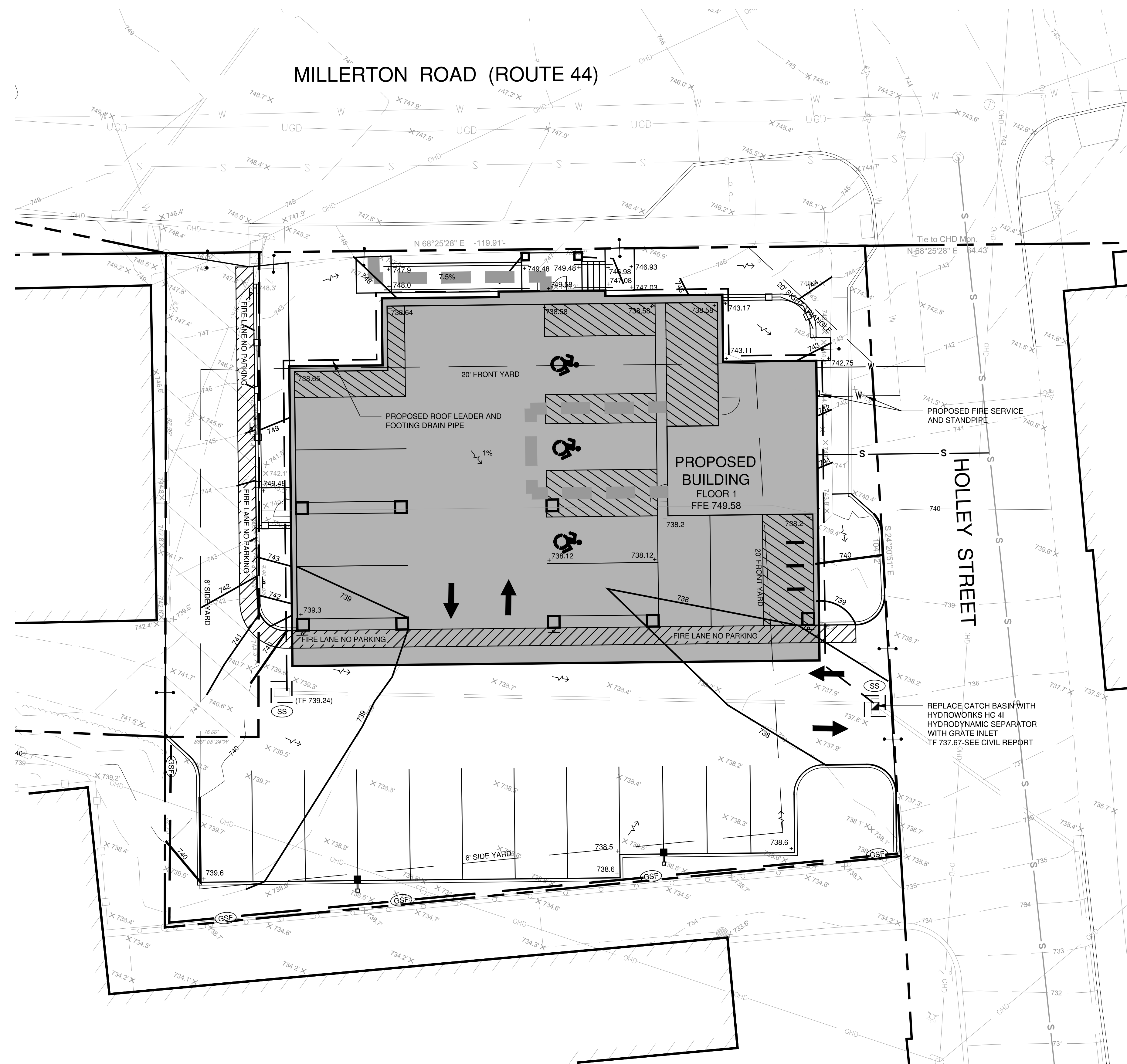
| ZONE: PKSQ (POCKETKNIFE SQUARE OVERLAY DISTRICT) / LI-20 | REQUIRED | EXISTING | PROPOSED | CONFORMANCE |
|--|-------------------|-----------|-----------------------|--------------------|
| USE | | PARKING | MULTI-FAMILY DWELLING | BY SPECIAL PERMIT |
| MAXIMUM DENSITY | 16 UNITS/ACRE (1) | 0 | 12 | YES |
| MAX. BUILDING HEIGHT | 40' | 0' | 33' | YES |
| MIN. LOT AREA | 20,000 SF | 13,590 SF | 13,590 SF | EXISTING CONDITION |
| MIN. STREET FRONTAGE | 25' | 103.91' | 103.91' | YES |
| FRONT YARD | 20' | N/A | 0.62' / 9.48' (2) | YES |
| MAX. BUILDING COVERAGE | 75% | 0% | 40.1% (3) | YES |
| SIDE YARD | 6' | N/A | 21.18' / 34.77' | YES |
| REAR YARD | 10' | N/A | N/A | YES |
| PARKING SPACES | 13 (1 PER UNIT) | ±24 | 22 | YES |
| MAX. COMPACT PARKING SPACES | 20% | 0 | 18% (4 SPACES) | YES |

(1) A MINIMUM OF 50% OF UNITS ARE AFFORDABLE AND THE MINIMUM SIZE IS GREATER THAN 350 SQUARE FEET.
 (2) MATCHES EXISTING FRONT YARD SETBACK OF BUILDINGS ON ABUTTING PROPERTIES
 (3) BUILDING COVERAGE: 5437 SF / 13,590 SF = 40.1%



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GRADING AND UTILITY NOTES

1. PROPOSED GRADES INDICATE INTENT. THE CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS AS REQUIRED TO MEET FIELD CONDITIONS.
2. WHERE FIELD CONDITIONS CALL FOR ON-SITE ADJUSTMENTS OF FINISHED GRADES, THE OWNER'S REPRESENTATIVE SHALL MAKE THE FINAL DETERMINATION.
3. CONTRACTOR TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE JOB AND BE RESPONSIBLE FOR THE SAME. NOTIFY SITE PLANNER OF DISCREPANCIES PRIOR TO BEGINNING WORK.
4. EROSION CONTROL FABRIC TO BE USED ON ALL SLOPES GREATER THAN 3:1
5. STRIP AND STOCKPILE TOPSOIL FOR REUSE ON SITE.
6. PITCH ALL WALKS AT 2% CROSS SLOPE UNLESS OTHERWISE NOTED.
7. ADJUST ALL EXISTING AND PROPOSED UTILITY FRAMES, GRATES, MANHOLE COVERS, VALVE BOXES, ETC. TO BE FLUSH WITH THE PROPOSED SURFACE.
8. ALL EXISTING UTILITY LINES TO BE ABANDONED SHALL BE ABANDONED ACCORDING TO UTILITY COMPANY REQUIREMENTS.
9. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE STANDARDS.
10. ALL EXCESS MATERIAL, EXCEPT TOPSOIL, SHALL BE LEGALLY DISPOSED OF OUTSIDE THE PROJECT LIMITS.
11. REFERENCE IS MADE IN THESE DOCUMENTS TO THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, FORM 816817 AND SUPPLEMENTS THERETO.
12. DAMAGE TO EXISTING UTILITIES AS A RESULT OF THE CONTRACTOR'S OR ANY OF HIS SUBCONTRACTOR'S ACTIVITIES DURING THE CONSTRUCTION PROCESS SHALL BE REPAIRED AS DIRECTED BY THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEWATERING DURING THE EXECUTION OF HIS WORK.
14. THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS DEVELOPED FROM THE BEST AVAILABLE INFORMATION. THE ACTUAL LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF EXCAVATION ACTIVITIES.
15. ACCESS AND UTILITIES TO EXISTING FACILITIES MUST BE MAINTAINED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR MUST MAINTAIN SUFFICIENT TRAVEL LANE(S), APPROVED BY THE OWNER, TO ENABLE ALL EMERGENCY VEHICLES TO ACCESS THE ENTIRE PROJECT SITE.
16. CONTRACTOR TO VERIFY THAT ALL EXISTING UTILITIES TO BE REUSED ARE FUNCTIONAL.

LEGEND

| EXISTING | PROPOSED |
|----------|----------|
| — | — |
| — | — |
| — | — |
| 747 | 747 |
| 740 | 740 |
| X 746.9' | +746.9 |
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ACCESSIBILITY NOTES

1. SLOPES ALONG THE ACCESSIBLE ROUTE SHALL BE LESS THAN 1:20 (5%) AND THE CROSS SLOPES SHALL NOT EXCEED 1:50 (2%). CHANGES IN LEVELS SHALL NOT BE GREATER THAN $\frac{1}{4}$ INCH.
2. SLOPES ALONG THE HANDICAP ACCESSIBLE RAMP SHALL NOT EXCEED 1:12 (8.3%) AND THE CROSS SLOPE SHALL NOT EXCEED 1:50 (2%). CHANGES IN LEVEL SHALL NOT BE GREATER THAN $\frac{1}{4}$ INCH.
3. LANDINGS SHALL NOT HAVE A SLOPE GREATER THAN 1:50 (2%) IN ANY DIRECTION.
4. SLOPES WITHIN THE HCP PARKING SPACE SHALL NOT EXCEED 1:50 (2%) IN ANY DIRECTION.

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LANDSCAPE ARCHITECTURE
URBAN PLANNING

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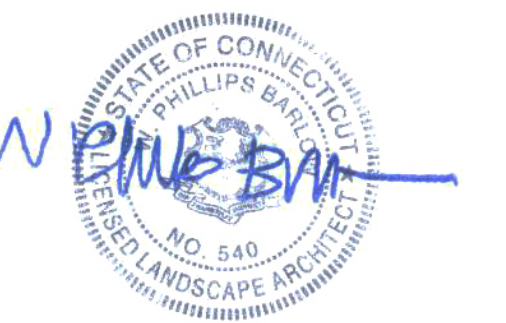


Grading & Utility Plan

L-3.0

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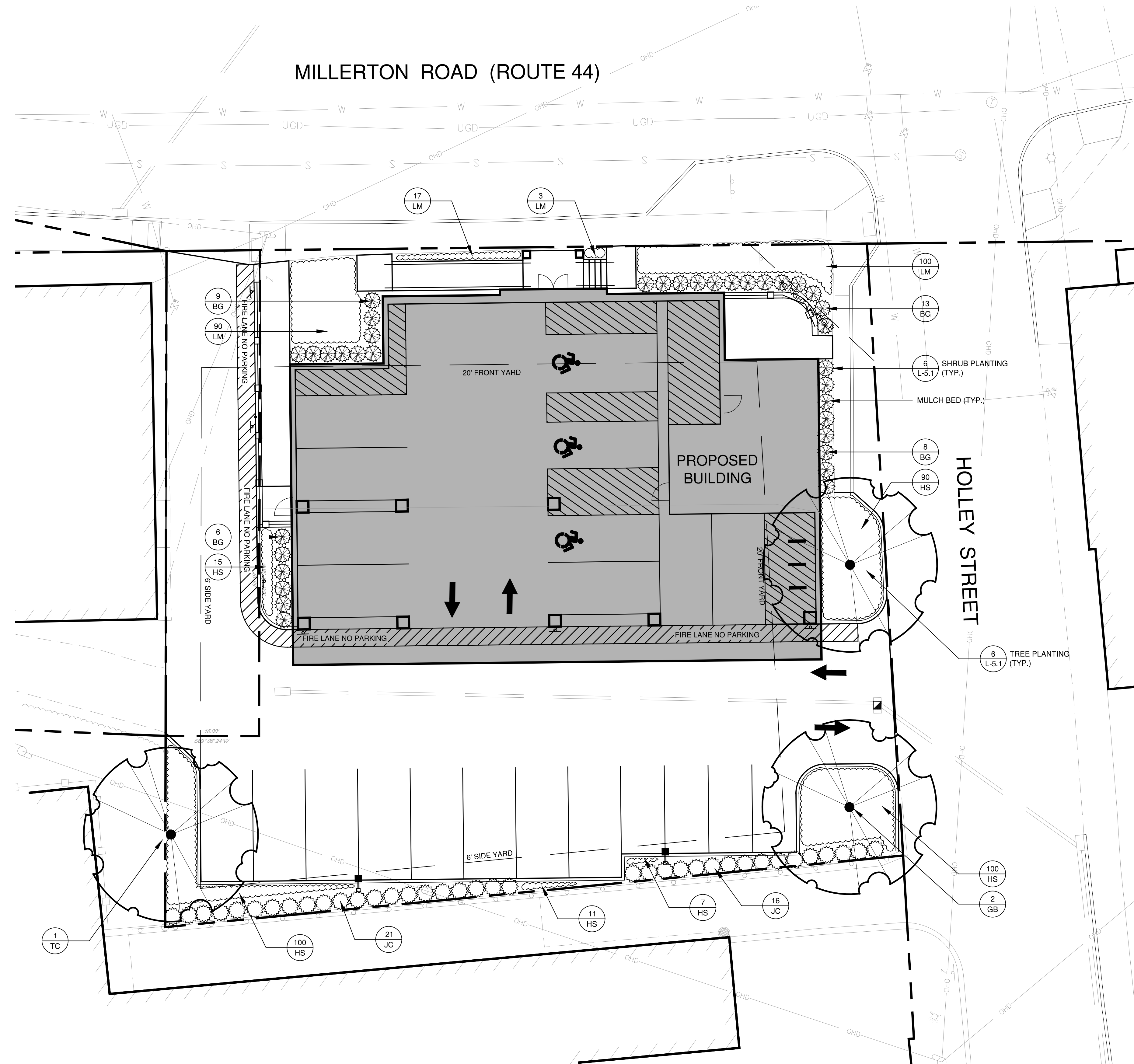
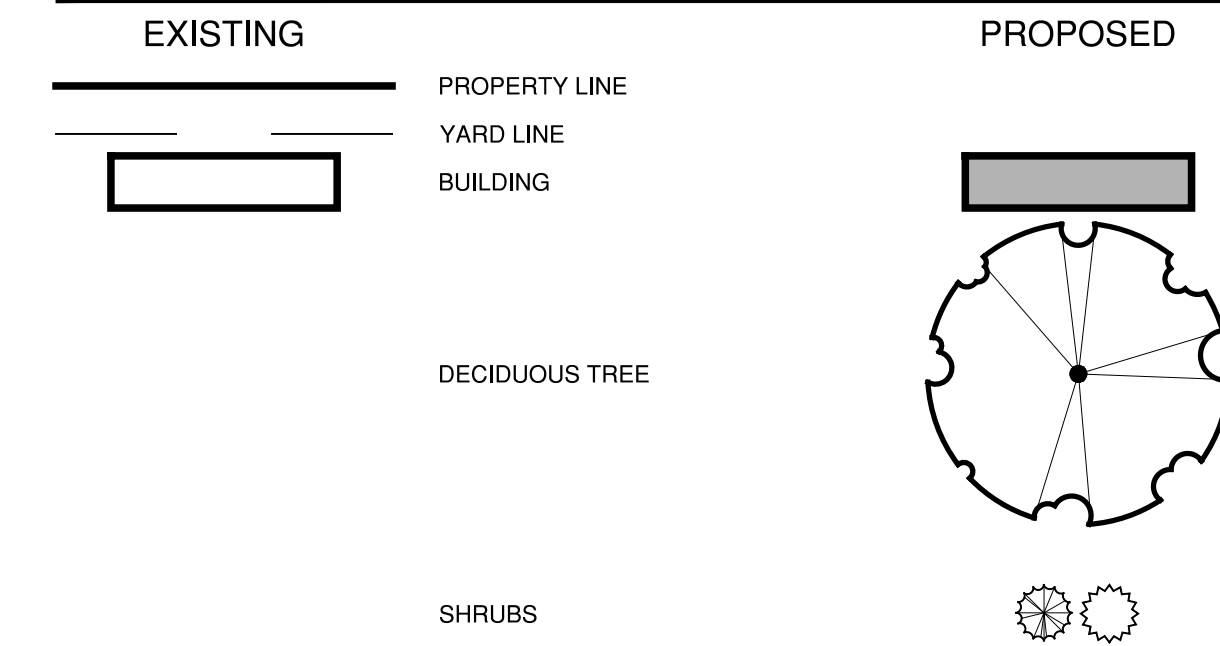
Planting Plan

L-4.0

PLANTING NOTES

- ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO APPLICABLE A.A.N. STANDARDS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
- ALL PLANTS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION AND SHALL BE LOCATED AT THE GROWING SITE BY THE CONTRACTOR, FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT. ANY INSTALLATIONS WHICH WERE NOT APPROVED BY THE LANDSCAPE ARCHITECT AND WHICH ARE SUBSEQUENTLY REQUESTED TO BE REMOVED, WILL BE DONE AT THE CONTRACTORS EXPENSE.
- PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
- ALL SHRUB AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGE, AT HIS OWN EXPENSE.
- ALL SHRUB AND GROUND COVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL, 18" DEEP.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD. WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
- PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND/OR LAWN SEEDED OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- SUBSTITUTIONS PERMITTED ONLY UPON WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
- PLANT TAGS TO REMAIN ON ALL PLANT MATERIAL UNTIL FINAL ACCEPTANCE. CONTRACTOR TO THEN REMOVE ALL PLANT TAGS.
- WHERE A SIZE RANGE IS GIVEN IN THE PLANT SCHEDULE, AT LEAST 50% OF THE PLANTS PROVIDED SHALL BE OF THE LARGER SIZE.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR AFTER DATE OF FINAL ACCEPTANCE.
- CONTRACTOR TO MAINTAIN ALL PLANT MATERIAL UNTIL 60 DAYS AFTER FINAL ACCEPTANCE UNLESS NOTED OTHERWISE IN SPECS.
- TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES AND NOT COVERED BY OTHER SITE IMPROVEMENTS.

LEGEND



PLANT SCHEDULE

| CATEGORY | SYM. | NO. | BOTANICAL NAME | COMMON NAME | SIZE | COND. |
|-----------------|------|-----|------------------------------------|----------------------------------|------------------|---------------------|
| DECIDUOUS TREES | GB | 2 | GINKGO BILOBA 'PRINCETON SENTRY' | PRINCETON SENTRY MAIDENHAIR TREE | 3" - 3 1/2" CAL. | B&B |
| | TC | 1 | GLEDITSIA TRICANTHOS 'SHADEMASTER' | SHADEMASTER HONEYLOCUST | 3" - 3 1/2" CAL. | B&B |
| SHRUBS | BG | 36 | BUXUS X 'GREEN VELVET' | GREEN VELVET BOXWOOD | 12" - 18" | CONT. |
| | JC | 37 | JUNIPERUS CHINENSIS | BLUE POINT JUNIPER | 3-4' HT. | CONT. |
| PERENNIALS | HS | 323 | HEMEROCALLIS 'STELLA DE ORO' | STELLA DE ORO DAYLILY | 1 GAL. | CONTAINER, 18" O.C. |
| | LM | 210 | LIRIOPE MUSCARI 'BIG BLUE' | BIG BLUE LILY TURF | 1 GAL. | CONTAINER, 18" O.C. |

