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By Land Use Office at 10:06 am, Apr 14, 2021

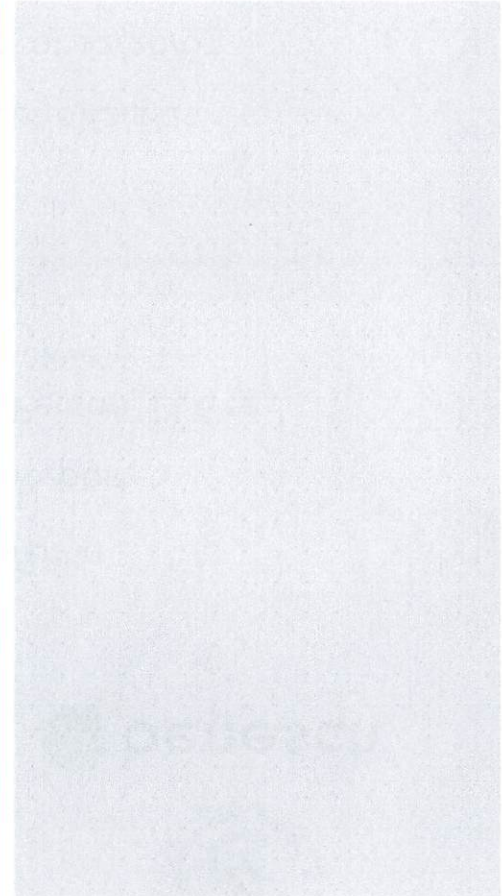


Holley Place

11 Holley Street

April 14, 2021

Continued...Planning & Zoning Public Hearing



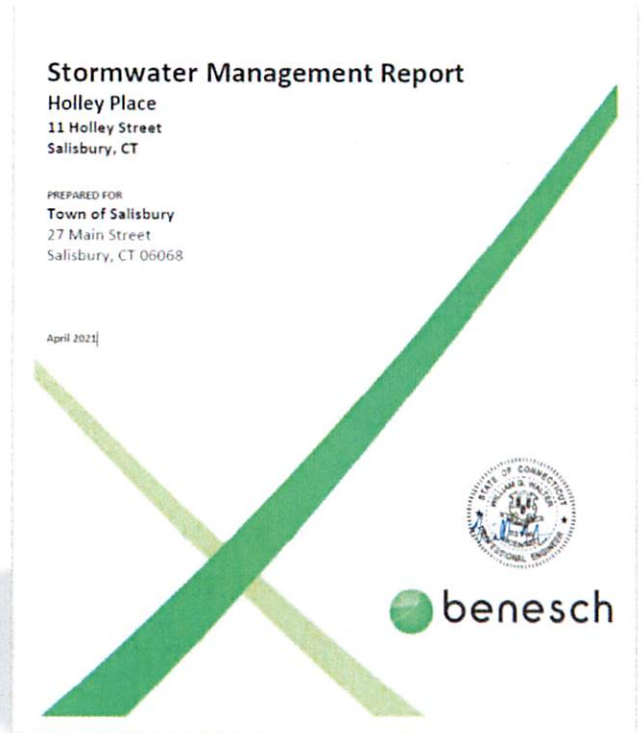
New Submissions Summary

- Stormwater Management Report
 - By benesch
- Additional site plan submissions showing:
 - Grading/Stormwater/Utility revisions
 - Proposed Front Yard on Holley Street
 - Planting of additional shrubs in rear for light buffering
- Applicant point-by-point responses to Virbickas Report
- Legal response from Christopher Smith, Alter & Person, LLC re:
 - Intervention pleading, "feasible & prudent alternative"
 - Legal parking nonconformities
 - ROW issues
 - Donor's wishes
- Salisbury Water Pollution Control Authority Letter of 2/1/21
- The original Belcher Holley Block donation letter of 12/20/67



Stormwater Management Report

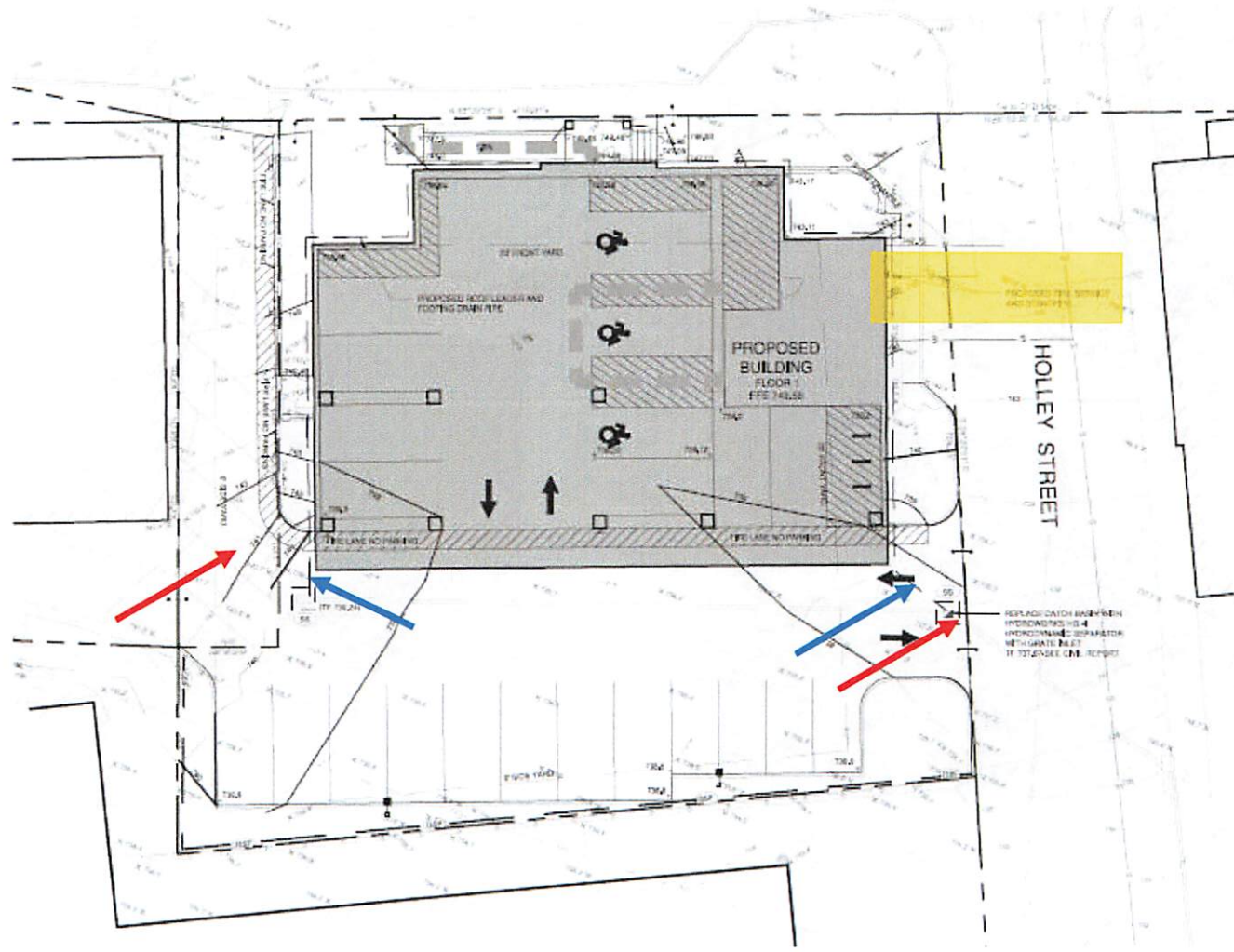
- The project was designed with guidance and direction from the CT DEEP 2004 Connecticut Stormwater Quality Manual (2004 Manual).
- The treatment for this site includes:
 - Parking lot sweeping
 - Catch basins with sumps
 - Hydrodynamic separator
- The hydrodynamic separator will replace the existing catch basin on the southeast corner of the site.



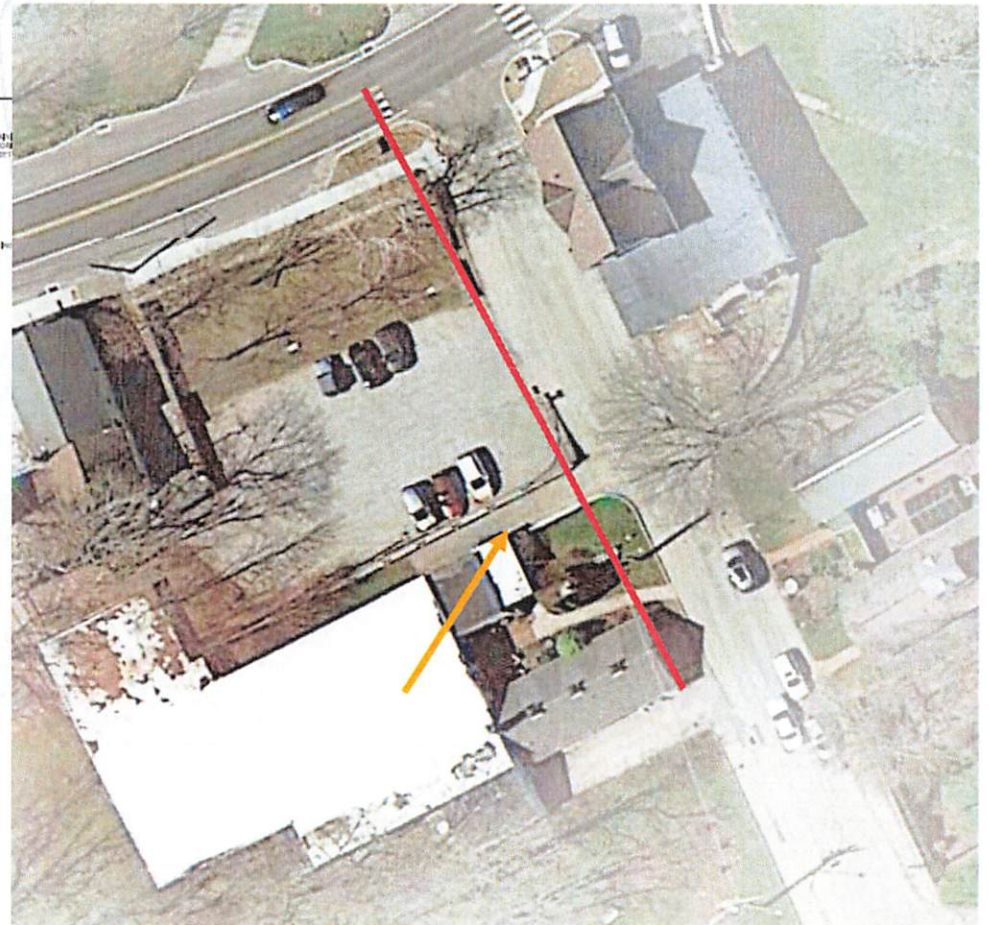
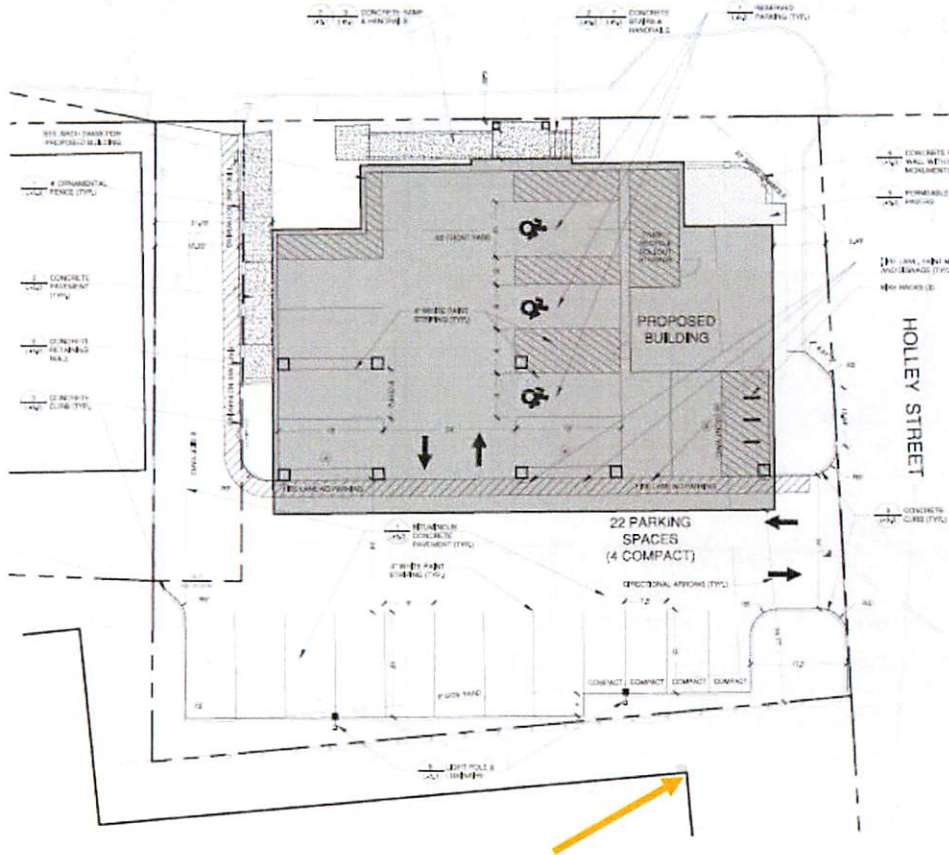
Stormwater Management Report

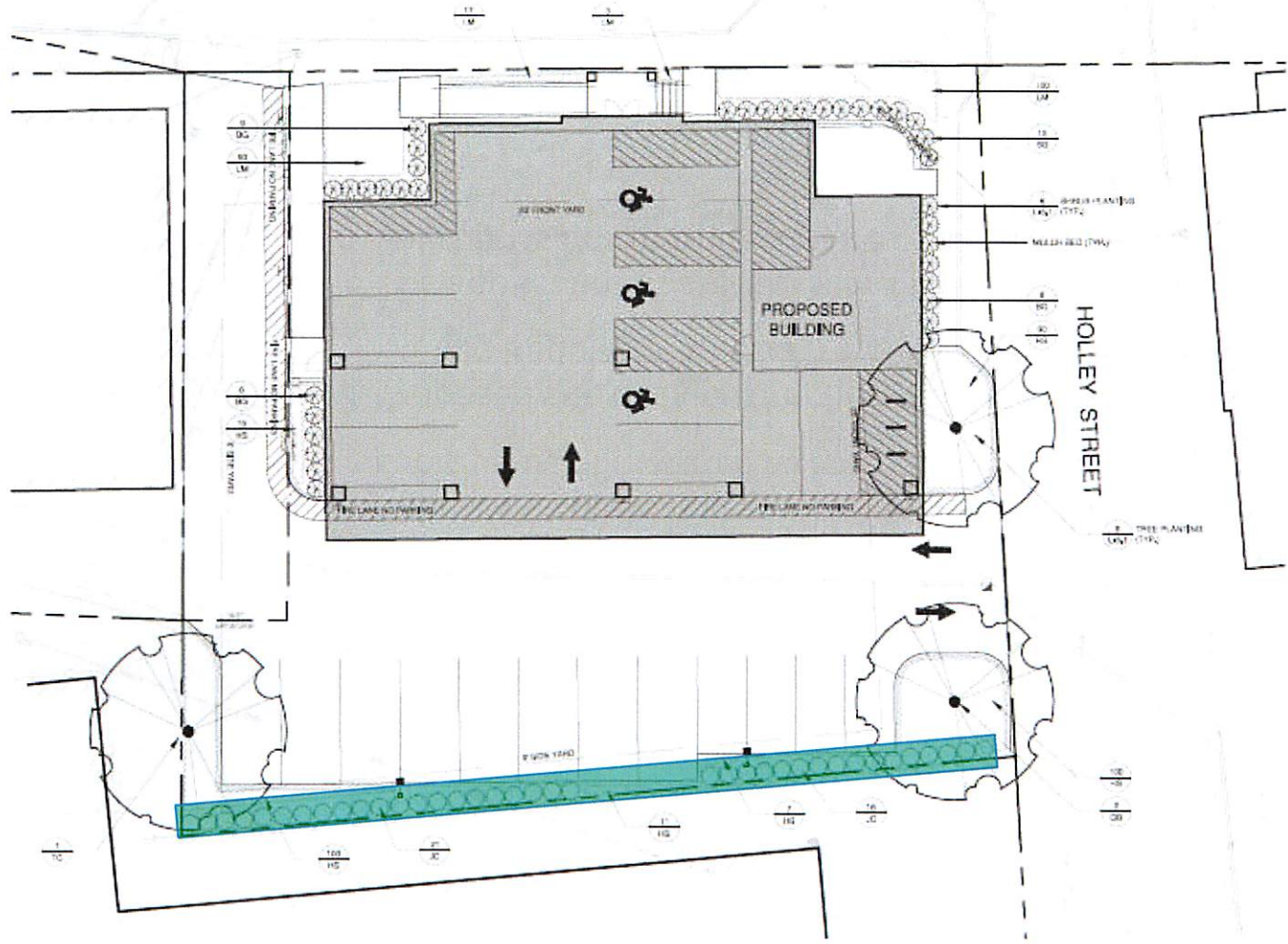


- A. All stormwater to be collected, directed to catch basins with sumps, treated with a hydrodynamic separator, and discharged into the municipal stormwater system (same as existing; however, no treatment provided with existing).
- B. Minimal increase in peak flows whether with 86% or 68.9% impervious coverage.
- C. Design is consistent and in compliance with the 2004 CTDEEP Stormwater Quality Manual.
- D. No infiltration provided; therefore, there will be no adverse impact to an aquifer, aquifer protection area or underground water resources.



MILLERTON ROAD (ROUTE 44)





Summary responses to Virbickas Report

Point by point response submitted including the following:

- Stormwater Management Report submitted.
- Special Permit for Excavation not required. Approximately 187 cubic yards of material will be removed from the premises.
- Proposed site design complies with Section 405.6 (a) 2 of the Zoning Regulations including the Holley Street setback.
- The application materials submitted comply with the Town of Salisbury's Pocketknife Square overlay district regulations.

Letter from
Fire Marshall
March 30, 2021

CHARLES CARLETON
FIRE MARSHAL
Cell: 860-671-0277
Fax: 860-435-5172
Email: ccarleton@salisburyct.us



TOWN OF SALISBURY
CONNECTICUT

Town Hall
P.O. Box 548
27 Main Street
Salisbury, Connecticut 06088

March 30, 2021

Abby Conroy
Land Use Administrator
Town of Salisbury
27 Main Street
PO Box 548
Salisbury, CT 06068

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MAR 30 2021

LAND USE OFFICE
Salisbury, CT

Dear Abby,

With regard to the Holley Place project, the building will be built in compliance with current building and fire codes. When construction plans are available they will be reviewed by the Fire Marshal's office for compliance. This will provide for life safety in accordance with current standards.

Sincerely,


Charles W. Carleton
Fire Marshal, Town of Salisbury

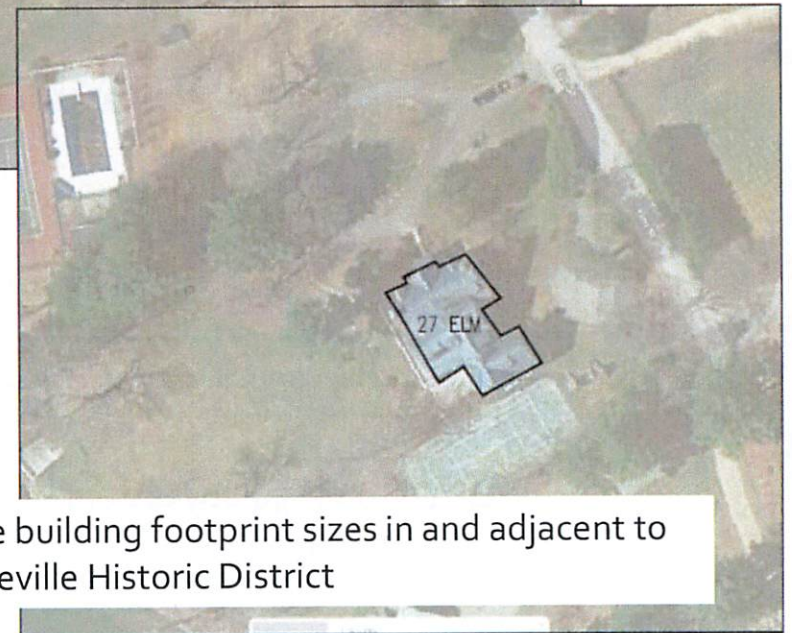
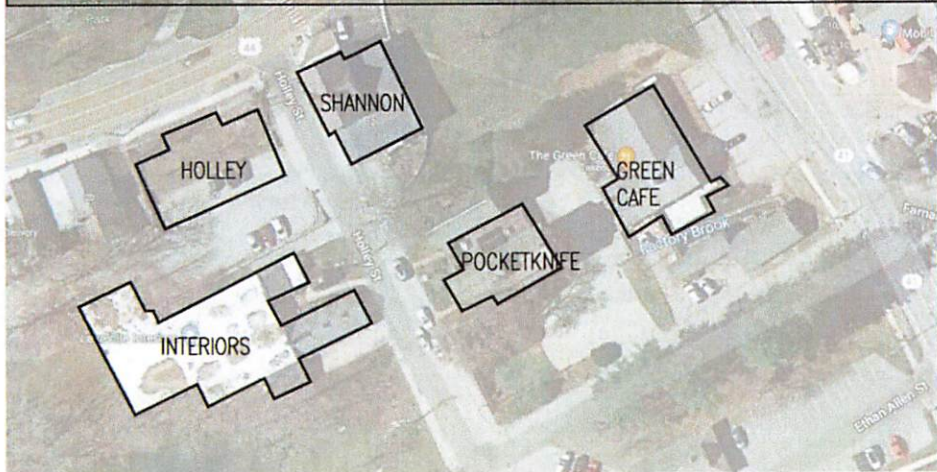
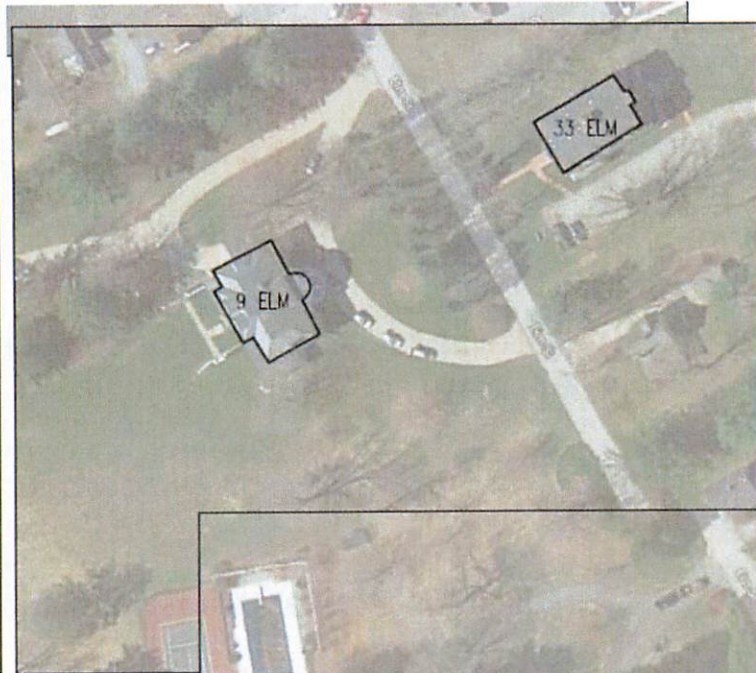
Access to building for larger vehicles and SVAS

- Access for larger vehicles-
 - Delivery vehicles (FedEx) would not have access from the back of the building all public access through front door.
 - Mailroom is located in the front of the building
 - Moving trucks will access from front of the building.
 - Rear access under building for residents only (staircase and elevator will require resident key for access)
- Access for Salisbury Volunteer Ambulance Service (SVAS)-
 - Holley St. is wide enough for an ambulance to park if that is the preference of SVAS
 - 9 ft clearance under building is also large enough for a typical ambulance
 - The elevator is large enough for a gurney

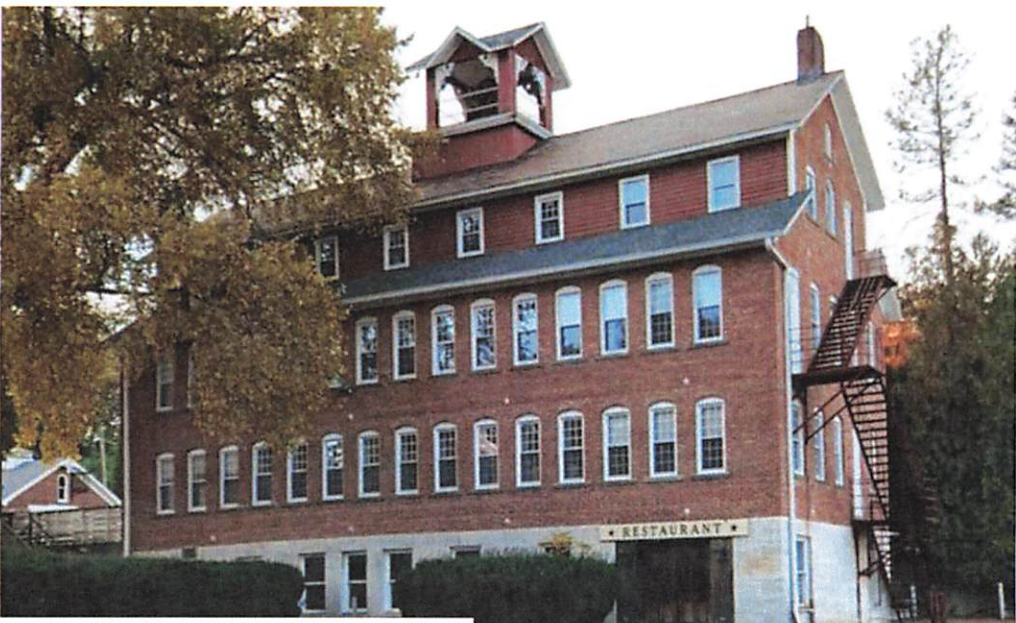
Responses to Carley report

*Kenton C. McCoy, AIA,
Historic Architect*

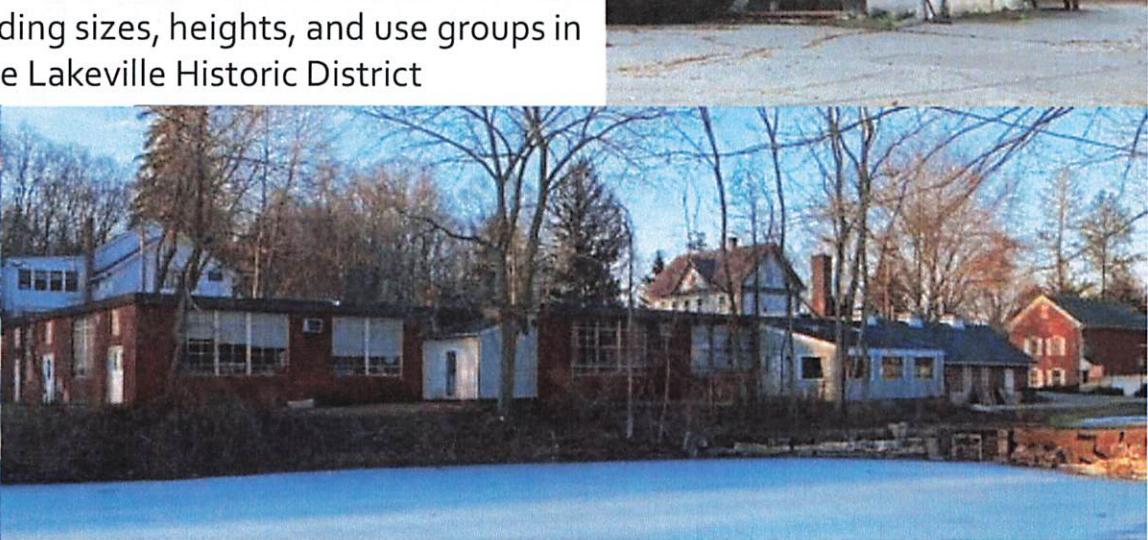
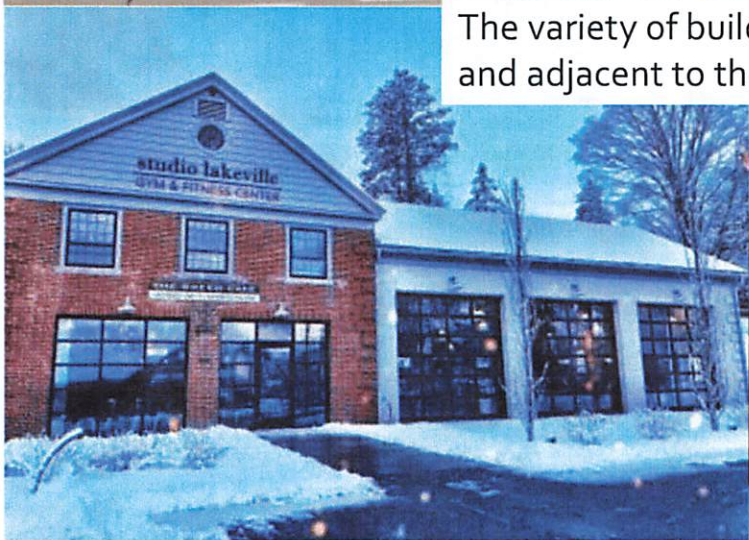
- Report's statement that with the exception of the church, our proposed building is larger than anything in the historic district is inaccurate.
 - The Shannon Building's foot print is about the same as ours and the Factory is taller. Lakeville Interiors' footprint is much larger. The Farnham Tavern and Boathouse buildings are too large to fit on our site. A number of the single-family houses on Elm Street are about the same footprint with the same number of dormers we are proposing.
- On page 4 where the Report discusses typology, it ignores any non-residential building in the district.
- Concrete walks and steps are dismissed in the Report as being inappropriate for the district.
 - All sidewalks on Millerton Road are concrete, including the one in front of Holley Block. Steps into the Shannon Building are concrete. The concrete retaining wall cited as inappropriate is existing.
- We are specifically not designing a replica building as it would violate the Secretary of the Interior's standards for design in an historic district.
- SHPO will review this project only when/if it gets State funding for construction. SHPO can only make advisory recommendations, cannot block project from occurring. Planning to incorporate stone wall.



Relative building footprint sizes in and adjacent to the Lakeville Historic District



The variety of building sizes, heights, and use groups in and adjacent to the Lakeville Historic District



Section 22a-19 of the CGS

- A. Historic issues
- B. Burden of proof
- C. Standard: Reasonably likely to result in the unreasonable pollution, impairment or destruction; substantial expert evidence
- D. Feasible and prudent alternatives:
 - i. Only if Commission finds “c”, above
 - ii. “Go to another property” option.

Valid Zoning Nonconformities and Satellite Parking

- A. Valid, zoning nonconformities – how do they work and are such applicable with the subject special permit application?
- B. Satellite parking:
 - i. Zoning regulations
 - ii. Existing zoning approval.

Rights-of-Way and Property Rights Issues

- A. Site design – accommodates all rights-of-ways and easements
- B. Disputes – not for the Commission to consider and act upon within the context of the pending special permit application.

Compliance With Donor's Intent

“(1) The Town of Salisbury agrees that the present structure will be entirely removed within nine months of acquiring title.

(2) The Town of Salisbury agrees that if building construction is not started on the property within a year after acquiring title thereto, the site will be cleared, graded and landscaped for a Town park, or attractively landscaped for a parking area, and will be maintained in a neat and attractive fashion.

(3) The Town of Salisbury agrees that **if any buildings are ever erected on the cleared land [as proposed with the SHC special permit application], such buildings shall have exterior design in keeping with the Federal or early Eighteenth Century image of our villages.** The Town of Salisbury further agrees that the exterior design for such buildings shall be designed by a registered architect and be subject to the approval of the majority of the Selectmen of the Town of Salisbury.”
[Language in brackets added.]

- Excerpt from Donor's letter from B. M. Belcher to the Board of Selectmen of the Town of Salisbury, dated December 20, 1967 (copy in the Record).

CONCLUSION

1. Special permit application
2. Section 22a-19 claims.

Substantially revised design to address concerns



In the months since that letter was sent, much has changed, most especially the design of the project. I believe the new design is far more attractive and compatible with its neighbors and I am no longer opposed to the project, assuming any outstanding issues are resolved to the commission's satisfaction.

I was not asked for permission to use the excerpt from my November 5th letter and I would not have given it had I been asked.

Very truly yours,

Sarah Morrison

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I signed one of the letters that was delivered to the P&Z citing objections and concerns because I had questions about the process and the proposed building. Over the last couple of months I have come to better understand the process and I appreciate the enormous effort that has been made to address those concerns. **Given the need for affordable housing in our community, my husband and I are 100% behind developing the Holley Place site and the other potential sites in our community.**

I'd also like to commend you all for your patience and grace when responding to questions and comments. You are certainly modeling the respect and tolerance that I hope can become a part of all of our civic interactions.

Best Regards,

Kathleen Voldstad

Public parking will be available on site

- **22 onsite parking spaces exceeds the minimum zoning requirements** (by 8 spaces) and is more than adequate to accommodate 12 units of housing
 - 10 Parking spaces located under the building will be for building residents only.
 - 12 outdoor spaces will be open to the public.
- We expect our building residents will need 4 of those outdoor spaces during peak parking hours (after 5pm and overnight).
- This would **leave 8 outdoor spaces for the public** during peak parking time for Holley Place residents. (Peak parking time for our residents is in the evening and overnight. Peak parking time for customers of local businesses will be during the day.)
- Typically over last 10 years there have been **3-5 cars parked in this parking lot** at any given time; highest use is during the day- when many building residents will not be parked there.

We can have
affordable
housing
options
AND
shared parking

