

Holley Place Aquarion/DPH Notification

Jon Tunsky <JTunsky@todesignllc.com>

Wed 4/14/2021 8:26 PM

To: 'Abby Conroy' <aconroy@salisburyct.us>

Cc: Christopher Smith <csmith@alterpearson.com>

 2 attachments (7 MB)

11 Holley Street Salisbury (Intersection of Millerton Road/Holley Street); 11 Holley Street Salisbury (Intersection of Millerton Road/Holley Street);

Hi Abby,

Please find attached my emails to Aquarion and CT DPH.

Jonathan Tunsky, PLA, CPSI

Principal

todesign

To Design, LLC

114 West Main Street, Suite 202, New Britain, CT 06051

Tel: 860.612.1700 ext. 110

Direct: 959-208-3532

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Subject: 11 Holley Street Salisbury (Intersection of Millerton Road/Holley Street)
From: Jon Tunsky <JTunsky@todesignllc.com>
Date: 2/10/2021, 5:18 PM
To: 'Joe Welsh' <JWelsh@aquarionwater.com>

Hi Joe,

Please find attached the watershed aquifer area project notification form and the set of plans submitted to P&Z. You may recall that I contacted you about this project in September of 2020. The previous application to P&Z was withdrawn and the building design has changed.

Any questions I would be happy to discuss the project.

Thanks

Jonathan Tunsky, PLA, CPSI
Principal



To Design, LLC
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Tel: 860.612.1700 ext. 110
Direct: 959-208-3532
todesignllc.com | [Facebook](https://www.facebook.com/todesignllc) | [LinkedIn](https://www.linkedin.com/company/todesignllc)

Attachments:

image001.png	0 bytes
WatershedorAquiferAreaProjectNotificationFormpdf-11HollyStreet2021.pdf	189 KB
6342-HolleyPlaceSpecialPermit_2021.02.04.pdf	7.0 MB
image001.png	0 bytes

Watershed or Aquifer Area Project Notification Form

REQUIREMENT:

Within seven days of filing, all applicants before a municipal Zoning Commission, Planning and Zoning Commission, Zoning Board of Appeals or Inland Wetlands Commission for any project located within a public water supply aquifer or watershed area are required by Public Act No. 06-53 of the CT General Statutes to notify The Commissioner of Public Health and the project area Water Company of the proposed project by providing the following information.

To determine if your project falls within a public water supply aquifer or watershed area visit the appropriate town hall and look at their *Public Drinking Water Source Protection Areas* map. If your project falls completely within or contain any part of a public water supply aquifer or watershed you are required to complete the following information.

Note: You will need information obtained from the *Public Drinking Water Source Protection Areas* map located in the appropriate town hall to complete this form.

Step 1: Have you already notified the CT Department of Public Health (CTDPH) of this project?

- No, Go to Step 2
- Yes, I have notified DPH under a different project name - Complete steps 4-6
- Yes, same name different year - Notification Year Complete steps 4-6

Step 2:

- Name of public water supply aquifer your project lies within:
- Name of the public water supply watershed your project lies within:
- Public Water Supply Identification number (PWSID) for the water utility:

Step 3: For 1-5 Check all that apply

1. My project is proposing:

- Industrial use; Commercial use; Agricultural use; Residential use;
- Recreational use; Transportation improvements; Institutional (school, hospital, nursing home, etc.);
- Quarry/Mining; Zone Change, Please Describe:
- Other, Please describe:

2. The total acreage of my project is:

- Less than or equal to 5 acres Greater than 5 acres

3. My project site contains, abuts or is within 50 feet of a:

- Wetland; Stream; River; Pond or Lake

4. Existing use of my project site is:

Grassland/meadow; Forested; Agricultural; Transportation; Institutional (school, hospital, nursing home, etc.); Residential; Commercial; Industrial; Recreational; Quarry/Mining

Other Please Describe: Parking/Park

5. My project will utilize:

septic system; existing public sewer; new public sewer; agricultural waste facility;

existing private well; new private well; existing public water supply;

new public water supply, if new have you applied for a certificate of public convenience and necessity from DPH? Yes No

6. My project will contain this percentage of built up area (buildings, parking, road/driveway, pool): Less than or equal to 20% Greater than 20% to 50% Greater than 50%

Step: 4 Applicants Contact Information:

Name: Jonathan Tunsky

E-mail address: jtunsky@todesignllc.com

Telephone: 860-612-1700

Fax number: _____

Step 5: Please provide the following if available:

Project name: Holley Place

Project site address: 11 Holley Street

Town: Salisbury

Project site nearest intersection: Millerton Rd./Holley Street

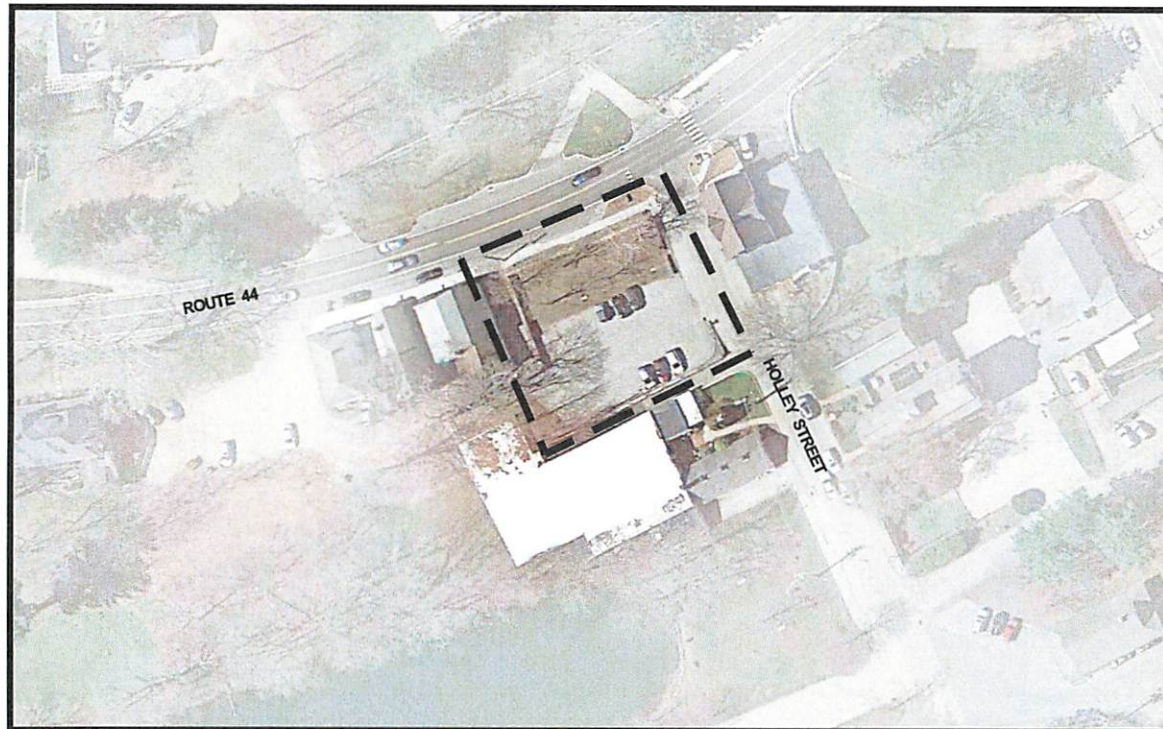
Project site latitude and longitude: 41.963871, -73.441768

E-mail completed form to dph.swpmail@ct.gov

HOLLEY PLACE

11 Holley Street

Salisbury, Connecticut



Project Site

NTS



APPLICATION FOR SPECIAL PERMIT

02.04.2021

Prepared for The Salisbury Housing Committee

President: Anne Kremer

CONTENTS

	Property & Topographic Survey Map
L-1.0	Demolition Plan
L-2.0	Layout Plan
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L-4.0	Planting Plan
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ES-1	Erosion & Soil Sedimentation Control Notes and Details
A1.0	Parking Level Floor Plan
A1.1	Main Floor Plan
A1.2	Second Floor
A1.3	Third Floor
A1.4	Roof Plan
A3.0	Exterior Elevations
A4.0	Building Sections
PR1.0	Renderings

Prepared by:

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Cubsenberry Arcart/Malk
195 Scott Swamp Road
Farmington, CT 06032
qamarch.com

todesign
SITE DESIGN
LANDSCAPE ARCHITECTURE
URBAN PLANNING

114 WEST MAIN STREET
SUITE 202
NEW BRITAIN, CT 06051
860-612-1700

todesignllc.com

CREATING MEANINGFUL OUTDOOR SPACES

HOLLEY PLACE

11 HOLLEY STREET
 SALISBURY, CT
 Project #: 6342

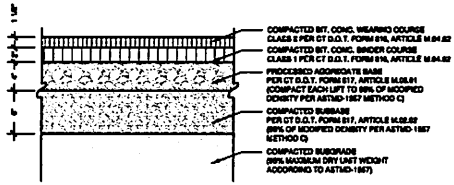
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Issued Date:

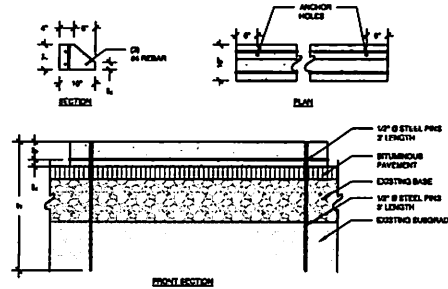
APPLICATION FOR SPECIAL PERMIT
 6342021

Details

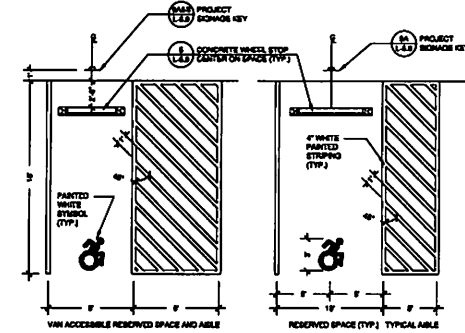
L-5.0



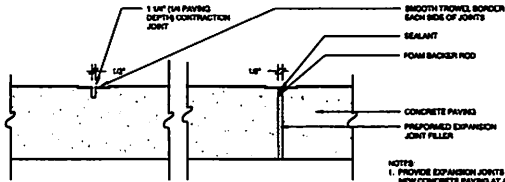
1 BITUMINOUS CONC. PAVEMENT
 SCALE 1" = 1'-0"



4 CONCRETE WHEEL STOP
 SCALE 3/4" = 1'-0"

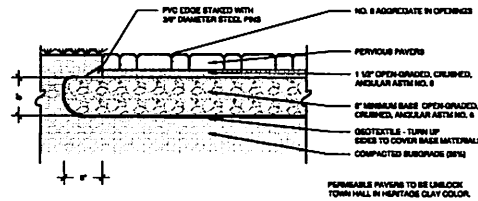


7 TYPICAL RESERVED PARKING LAYOUT
 SCALE 3/4" = 1'-0"

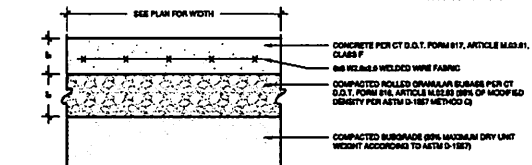


NOTE:
 1. PROVIDE EXPANSION JOINTS FOR NEW CONCRETE PAVING AT ALL CURBS, BUILDING WALLS, LIGHT POLE BASES, CONCRETE PAVING AND ALL OTHER FIXED MATERIALS. AIR CURING IS NOT ACCEPTABLE. SEE SPECIFICATIONS.

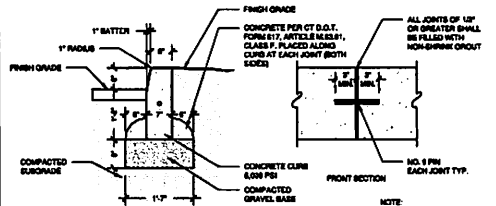
EXPANSION & CONTRACTION JOINTS



5 PERMEABLE PAVERS
 SCALE 1" = 1'-0"

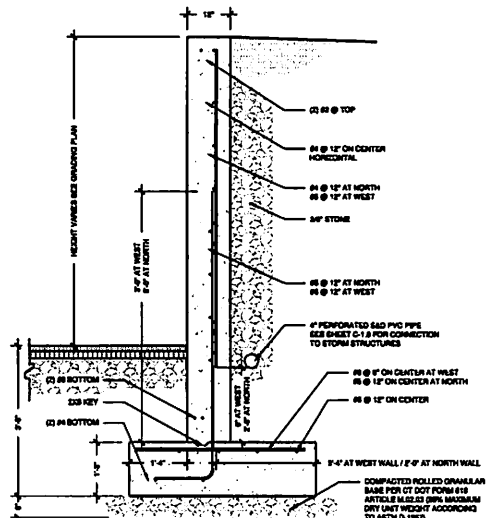


2 CONCRETE PAVEMENT
 SCALE 1" = 1'-0"

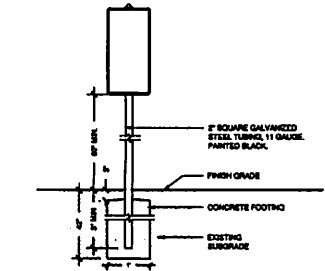


NOTE:
 1. CONTRACTOR SHALL SUBMIT SHOP DRAWING OF PRECAST CURB FOR APPROVAL.

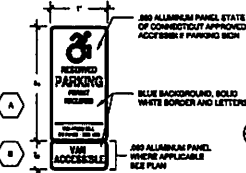
3 PRECAST CONCRETE CURB
 SCALE 3/4" = 1'-0"



6 CONCRETE RETAINING WALL
 SCALE 3/4" = 1'-0"



8 SIGNAGE POST
 SCALE 3/4" = 1'-0"



9 PROJECT SIGNAGE KEY
 SCALE 1" = 1'-0"

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 Farmington, CT 06032
 qa+march.com

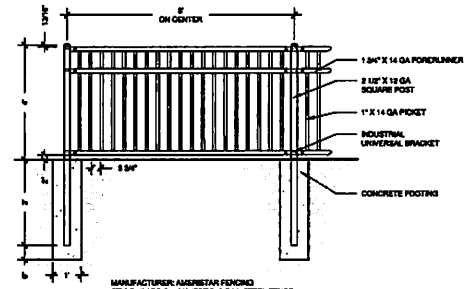
todesign

124 WICKY WALK STREET
 BRIDGE 0660
 NEW BRITAIN, CT 06051
 860-632-0700
 todesign@icloud.com

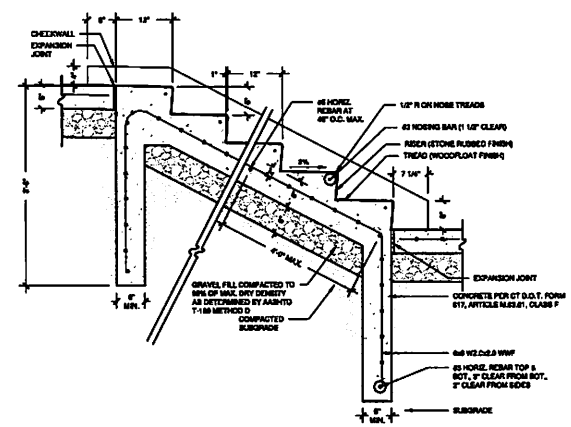
8176 DESIGN
 LANDSCAPE ARCHITECTURE
 URBAN PLANNING

HOLLEY PLACE

11 HOLLEY STREET
 SALISBURY, CT
 Project #: 6342



① 4' ORNAMENTAL FENCE
 SCALE 1/2" = 1'-0"



② CONCRETE STAIRS
 SCALE 1" = 1'-0"

CL:Drawing P:\6342 - Holley Pl\14 - Stairs - Detail\04251402.dwg 2022/01/12 12:21:11 PM jphm

Revisions:
 Issues/Details:
 APPLICATION FOR SPECIAL PERMIT
 (CLASSIFY)

Details
L-5.2

SEDIMENTATION AND EROSION CONTROL

FOR USE OF CONNECTICUT PUBLIC ACT 06-205

All applicable practices recommended by the 2002 CT Guidelines for Soil Erosion & Sediment Control are indicated by reference.

1. DESCRIPTION

The project consists of construction of a new building and site improvements that include new infrastructure, pavement, concrete walls, lighting, outdoor paths, and parking.

2. SCHEDULE

The project is anticipated to begin construction in 2021.

3. DESIGN AND CRITERIA

Note: The Contractor shall name one individual as his Sediment and Erosion Control Supervisor whose primary responsibility will be the maintenance of all erosion control measures. He will keep a daily log of its activities and an updated schedule of proposed construction activities. The log will be made available to inspectors.

A. GEOTEXTILE SILT FENCE (GSF) - Shall be non-woven material, minimum 3/16 inch and installed to avoid erosion from about 5% slope. GS fences shall be installed with end runs turned up grade at 45 degree for a distance of 10 feet.

B. TEMPORARY SEEDING (TS)

- Contractor shall aerify the soil to a depth of 4" before applying fertilizer, lime and seed.
- Seed may be applied hand or mechanically. Seed application shall be uniform. Seed rate shall be in accordance with the 2002 Guidelines for Soil Erosion and Sediment Control. (Seeding seeding rates by 10% when hydroseeding, Limonene, fertilizer and seed may be applied in slurry.)
- Contractor shall match area (S2) immediately following seeding. (Note: In the event seeding operations are not feasible due to unusual conditions or additional unforeseen erosion patterns, the Contractor shall install an Erosion Control Blanket over exposed areas.)

C. PERMANENT SEEDING (PS)

- Contractor shall apply topsoil and the grade of areas before the application of permanent areas. Apply limestone and fertilizer as needed, in accordance with soil test.
- Pave all surfaces above 16 inch and larger. Pave all other areas and with seed bed.
- Apply seed within 7 days after establishing first grass. See planting plan.

D. HAY BALE BARRIER (HBB) - Shall be made of hay or straw with 40 pounds minimum weight and 120 pounds maximum weight, held together by twine or wire. (See detail this sheet.)

E. CONSTRUCTION ENTRANCE (CE) - Shall be an angular stone (DOT Standard Stone Section 8-2.1) size 20" x 20" x 12" or 12" x 12" x 12" or 12" x 12" x 8" long. (See detail this sheet.)

F. EROSION CONTROL BLANKET (ECB) - Erosion mat shall be placed on all exposed earth slopes steeper than 3:1 (including crevices & ditches) to prevent exposed soil and limit erosion. Erosion mat shall be applied to exposed areas. Mat for blanketing shall be straw or straw/compost fiber combination woven together with lightweight netting. Use North American grass, #120 - slopes up to 3:1, #121 - slopes from 3:1 up to 2:1 or greater. Temporary hay mat shall be applied to areas less than 3:1 slope and all areas to be left barren over the winter. Match rate to be 70 pounds/1000 sq ft.

4. APPLICATION/GENERAL PROCEDURES

- Soil erosion and sediment control measures will be installed prior to any site disturbance, and development will proceed according to a sequenced construction program. The objective is to minimize the reduction of sedimentation and erosion control measures currently recommended by the 2002 CT Guidelines for Soil Erosion and Sediment Control.
- Earthwork will be scheduled for periods when soil sedimentation is low and soil loss hazard is at a minimum.
- Required earthwork for major storm events and implement additional sedimentation and erosion control measures as necessary.
- There shall be no silt or soil exposed for longer than 90 days. The established procedure of temporary seeding and/or cover with erosion prevention (hay or hay) shall be followed to insure minimal soil loss.

5. MONITORING AND MAINTENANCE PROGRAM

- For the duration of the project construction, the Contractor shall maintain all sedimentation and erosion control devices to insure their efficient operation.
- The responsibility for performing periodic checks of the protection systems is placed and to coordinate clearing and repair operations shall be assigned to the Contractor's project representative.
- All sedimentation and erosion control devices shall be checked for the efficiency of the control systems prior to adverse storm weather forecasts. Inspect control systems during and after storms to determine necessary repairs.
- Repairs to sedimentation control systems directed by the project representative shall be done within 24 hours of the discovery or as soon as possible prior to storm season.
- Replacement materials for the devices utilized must be readily available for repair.
- Check sedimentation and erosion control devices as directed by the project representative.
- Placement of temporary sedimentation and erosion control devices that are not shown on plans, but are required due to Contractor's operations, shall be placed at the direction of the project representative.
- Clear ditches and other debris caused by the Contractor's earthwork operations shall be prevented, or cleaned-up in accordance with the department's site specification "Form 814".

6. SPECIFIC MAINTENANCE MEASURES SHALL BE AS FOLLOWS:

A. GEOTEXTILE SILT FENCE (GSF) - Inspect GSF at least once a week and within 24 hours of the end of any storm event of 0.2-inch or greater. Repair or replace the fence within 24-hours of observed failure.

B. HAY BALE BARRIER (HBB) - Inspect HBB at least once a week and within 24 hours of the end of any storm event of 0.2-inch or greater. Repair or replace the hay bales within 24-hours of observed failure.

C. CONSTRUCTION ENTRANCE (CE) - Assess the entrance to a driveway which will prevent loading and unloading of vehicles and paved surfaces. Provide periodic top dressing with additional stone or additional length as conditions warrant. Repair any measures used to trap sediment as needed. Immediately remove all sediment, gravel, dropped, washed or tracked onto paved surfaces. Plans approved by a construction site shall be set down at the end of each day.

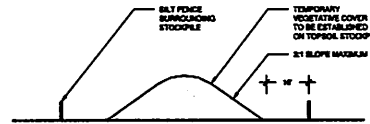
If the construction entrance is being properly maintained and the action of a vehicle traveling over the stone and is not sufficient to remove the majority of the sediment, then either (1) increase the length of the construction entrance, (2) modify the construction entrance (add surface, or (3) install washing mat and associated washing area or similar device before the vehicle enters a paved surface.

D. SEEDING (TEMPORARY & PERMANENT)

Inspect seeded areas at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.2 inch or greater for seed and mulch movement and 16 erosion.

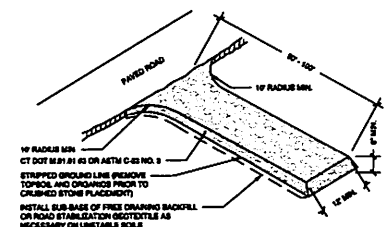
Where seed has moved or erosion has occurred, determine the cause of the failure. Seed loading may be a problem if seed rate applied too slowly to prevent wash. The seed and re-apply. If movement was the result of wind, then repair erosion damage if any, reseed and mulch and apply mulch anchoring. If failure was caused by concentrated runoff, install additional measures to control water and sediment movement, repair erosion damage, re-seed and re-apply mulch with anchoring or use Temporary Erosion Control Blanket material.

Continue inspections until the process is fully established. Grasses shall not be mowed until established until a ground cover is achieved which is enough to control soil erosion and to survive severe weather conditions (approximately 80% vegetative surface cover).



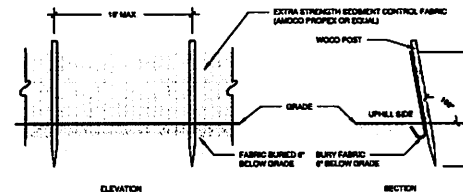
1. TOPSOIL STOCK PILE AREA

N.T.A.



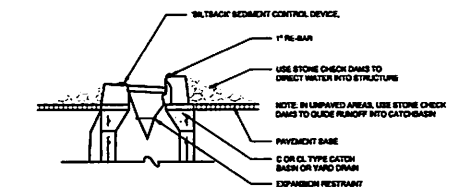
2. CONSTRUCTION ENTRANCE (CE)

N.T.A.



3. GEOTEXTILE SILT FENCE (GSF)

N.T.A.



4. SILT SACK (SS)

N.T.A.

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todesign@todesign.com

SITE DESIGN
LANDSCAPE ARCHITECTURE
URBAN PLANNING

HOLLEY PLACE

11 HOLLEY STREET
SALISBURY, CT
Project R. 6342

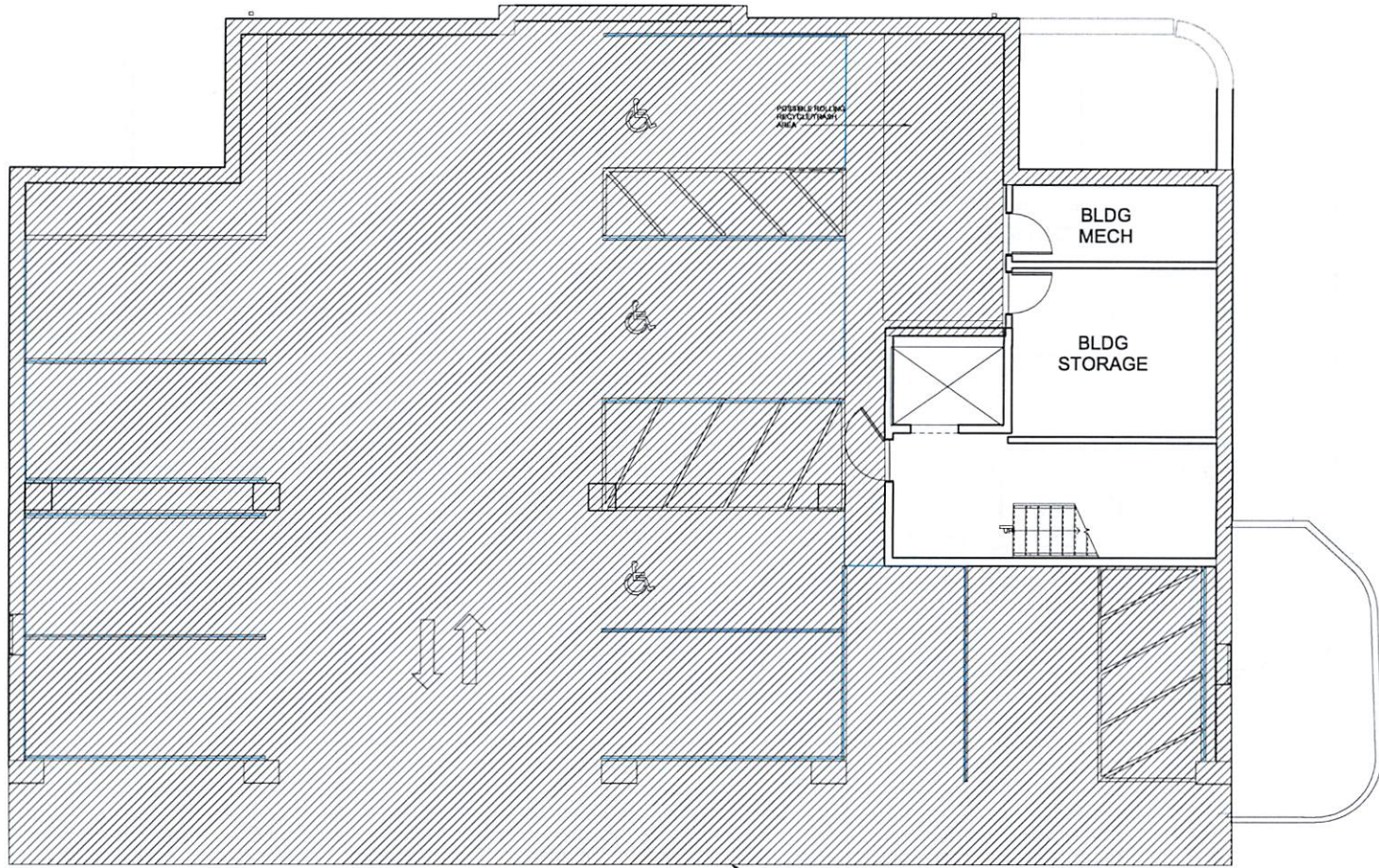
Revisions:
Issued Date:

APPLICATION FOR SPECIAL PERMIT
6343021

**Erosion & Soil
Sedimentation Control
Notes and Details**

ES-1

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LINE OF BUILDING ABOVE

QA+M
 architecture
 Quisenberry *Ar* Malik
 195 Scott Swamp Road
 Farmington, CT 06032
 qamarch.com

NOT FOR
 CONSTRUCTION
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 ONLY

PROJECT DESCRIPTION:
HOLLEY PLACE
 SALISBURY, CONNECTICUT
 Project #: QAM1984

Revisions
 Issue Date:



Planning and Zoning
 02.03.2021

PARKING LEVEL FLOOR PLAN

A1.0

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HOLLEY PLACE
SALISBURY, CONNECTICUT
Project #: QAM1884

Revisions

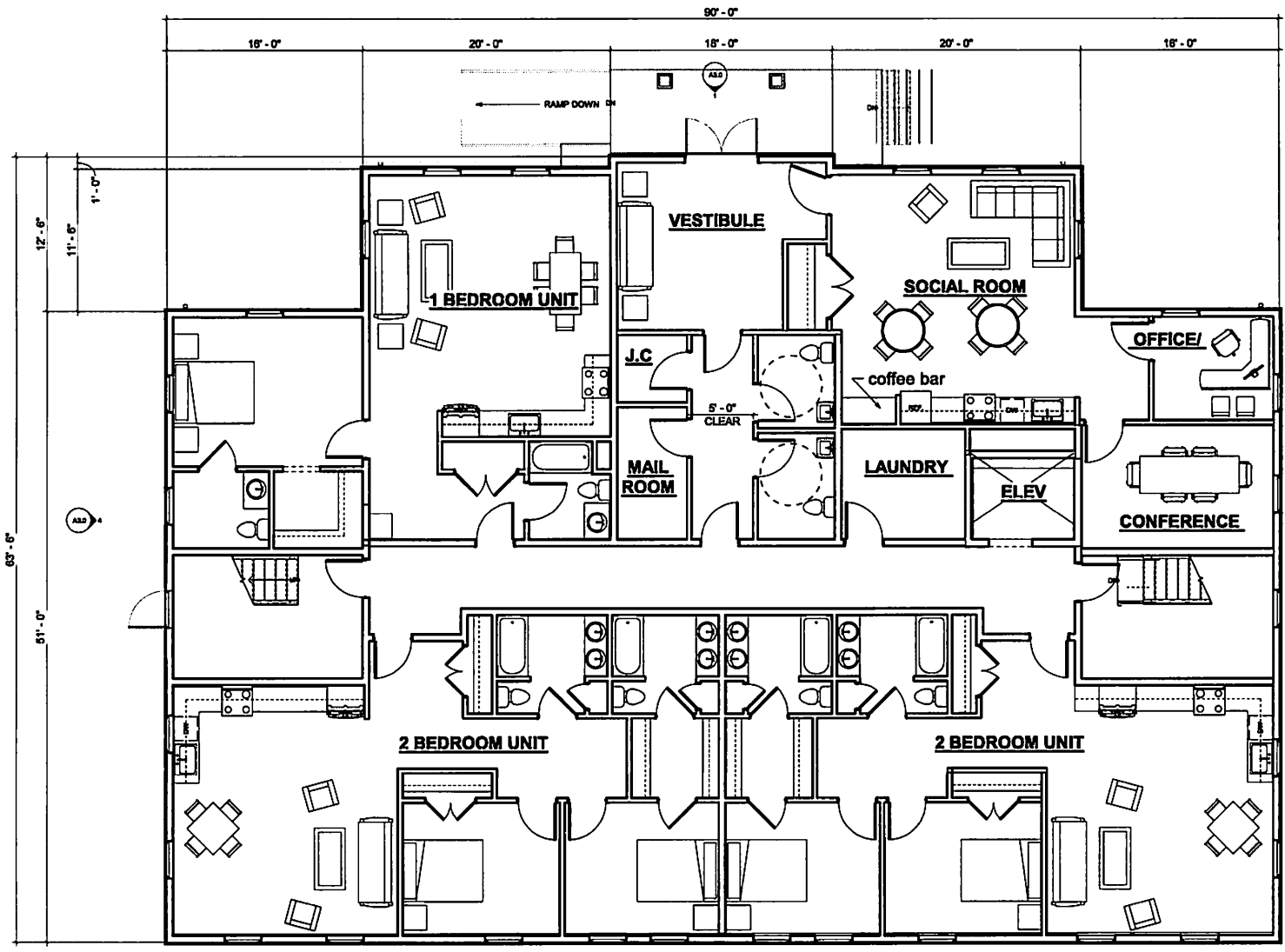
Issue Dates:



Printing and Dating
02.23.2021

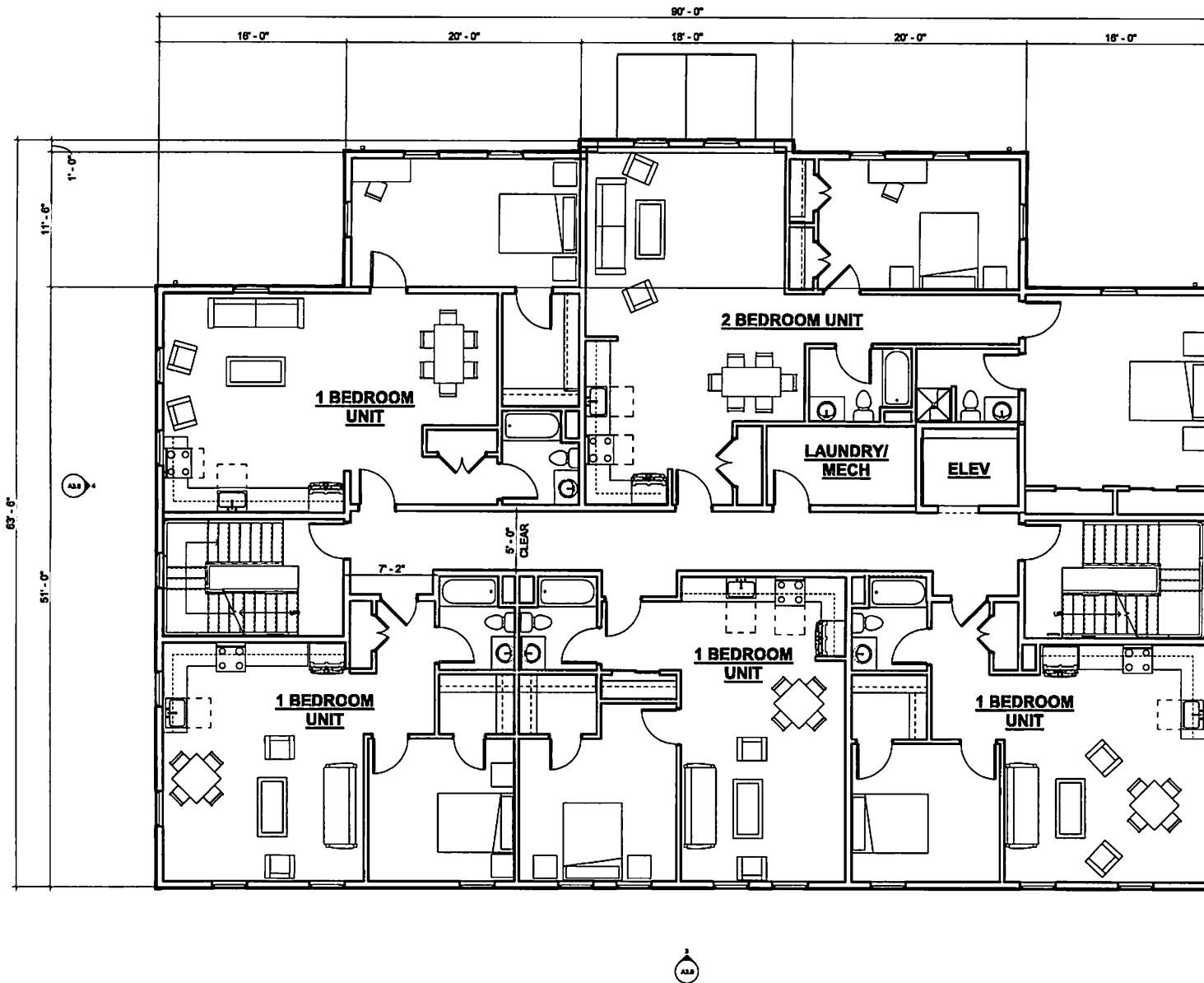
MAIN FLOOR PLAN

A1.1



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QA+M
architecture
Outeberry/Arora/Malik
195 Scott Swamp Road
Farmington, CT 06032
qamarch.com

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PROJECT DESCRIPTION:

HOLLEY PLACE

SALISBURY, CONNECTICUT
Project #: QAM1584

Revisions

Name Color:

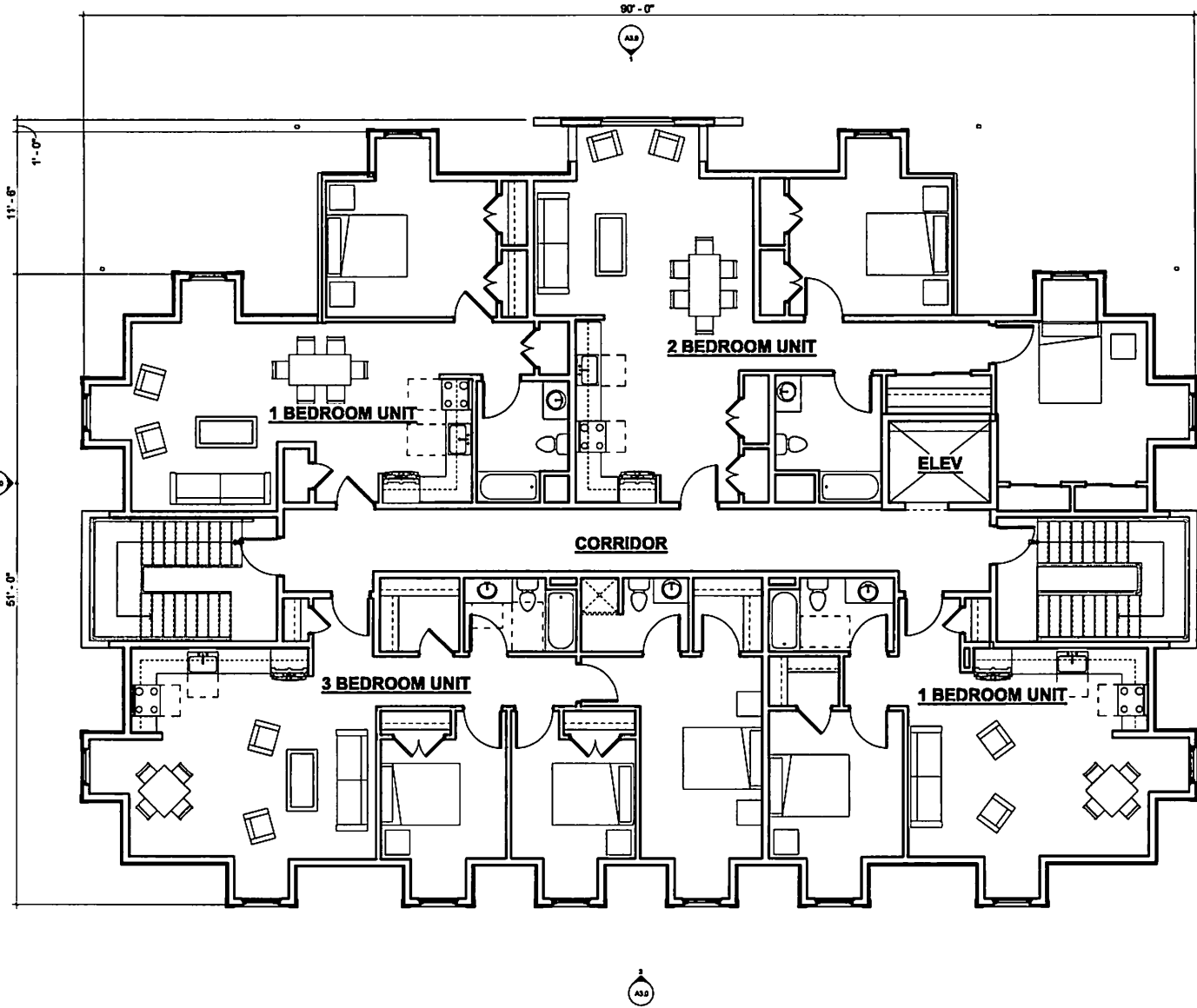


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02.23.2021

SECOND FLOOR

A1.2

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 architecture
 Ouseberry-Arora Malik
 195 Scott Swamp Road
 Farmington, CT 06032
 qaamarch.com

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PROJECT DESCRIPTION:

HOLLEY PLACE

SALISBURY, CONNECTICUT
 Project #: QAM1984

Revisions

Issue Dates:

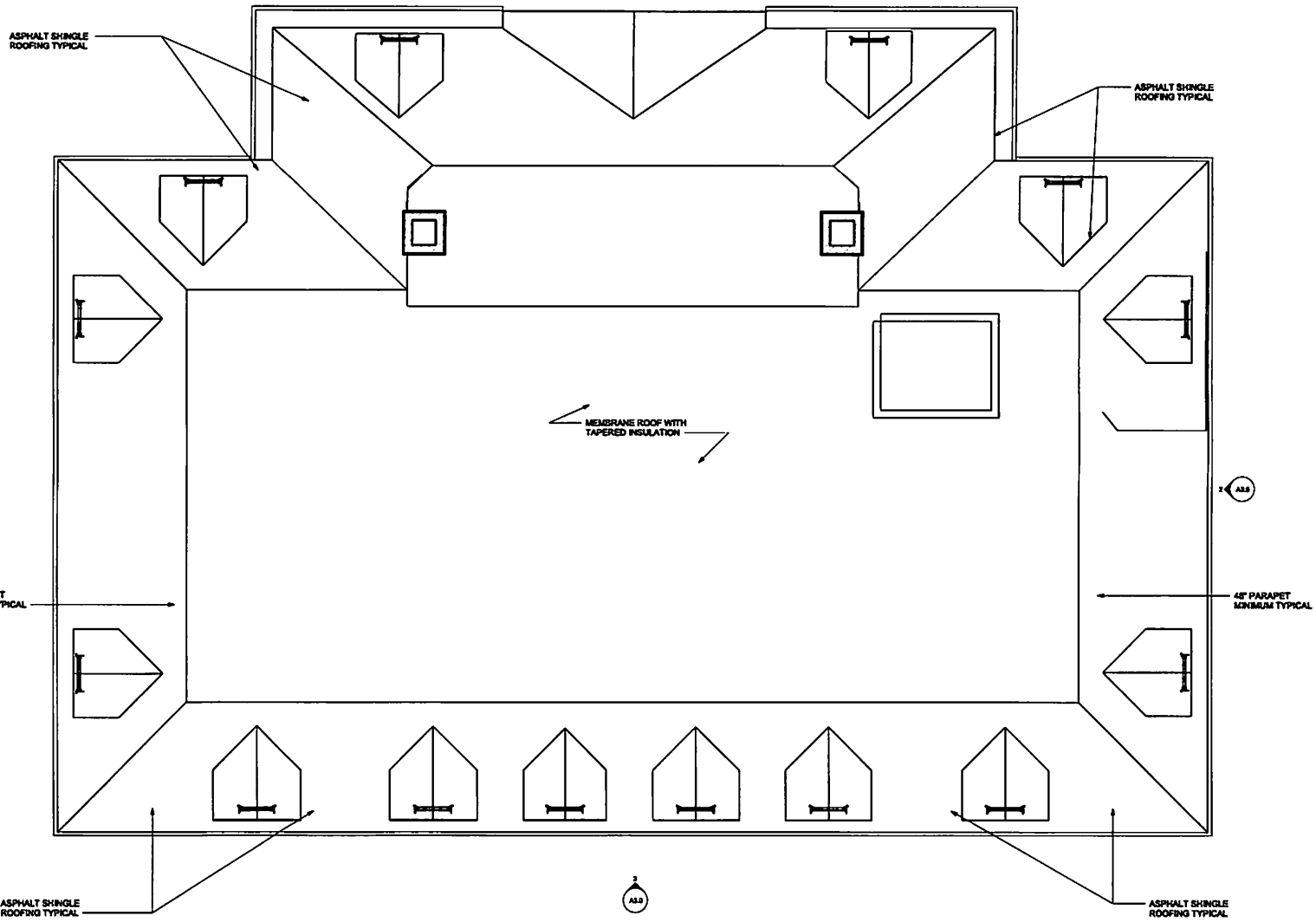


Printing and Drawing
 02.02.2021

THIRD FLOOR

A1.3

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 architecture
 Outenberry Arcan+Mall
 195 Scott Swamp Road
 Farmington, CT 06032
 qa+march.com

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PROJECT DESCRIPTION:
HOLLEY PLACE
 SALISBURY, CONNECTICUT
 Project #: QAM1984

Revisions

Issue Date:



Planning and Drafting
 02.03.2021

ROOF PLAN

A1.4

NOT FOR
 CONSTRUCTION
 ISSUED FOR REVIEW
 ONLY

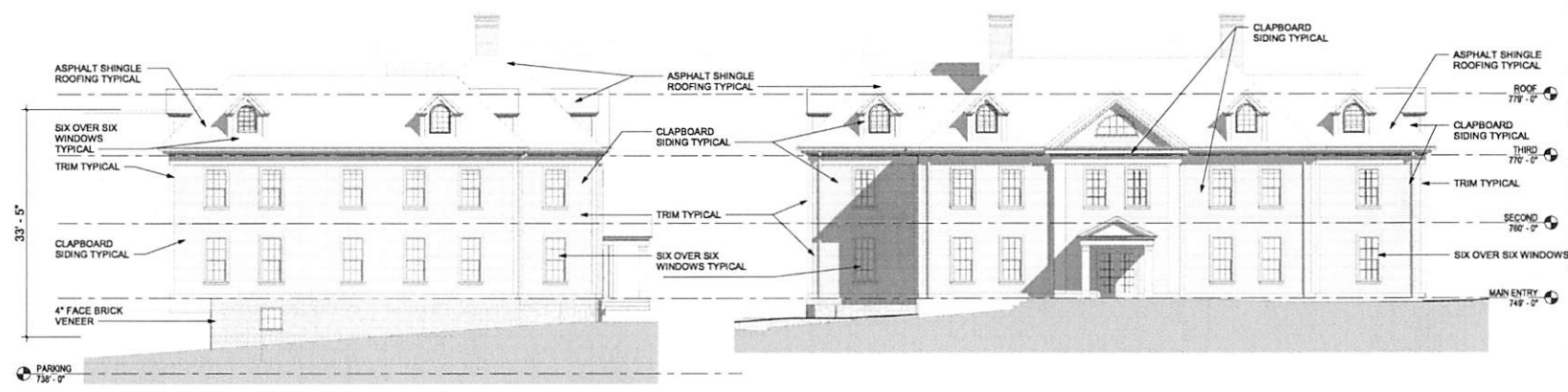
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HOLLEY PLACE
 SALISBURY, CONNECTICUT
 Project #: QAM1984

Revisions
 Issue Dates:

Planning and Zoning
 02.03.2021

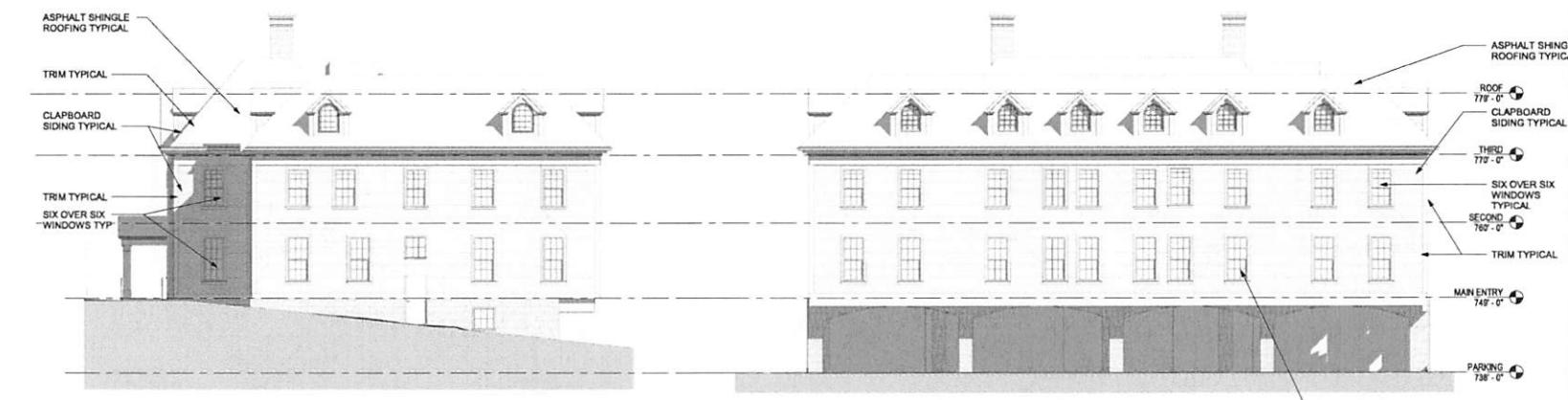
EXTERIOR ELEVATIONS

A3.0



2 HOLLEY STREET
 A3.0 1/8" = 1'-0"

1 MAIN STREET
 A3.0 1/8" = 1'-0"

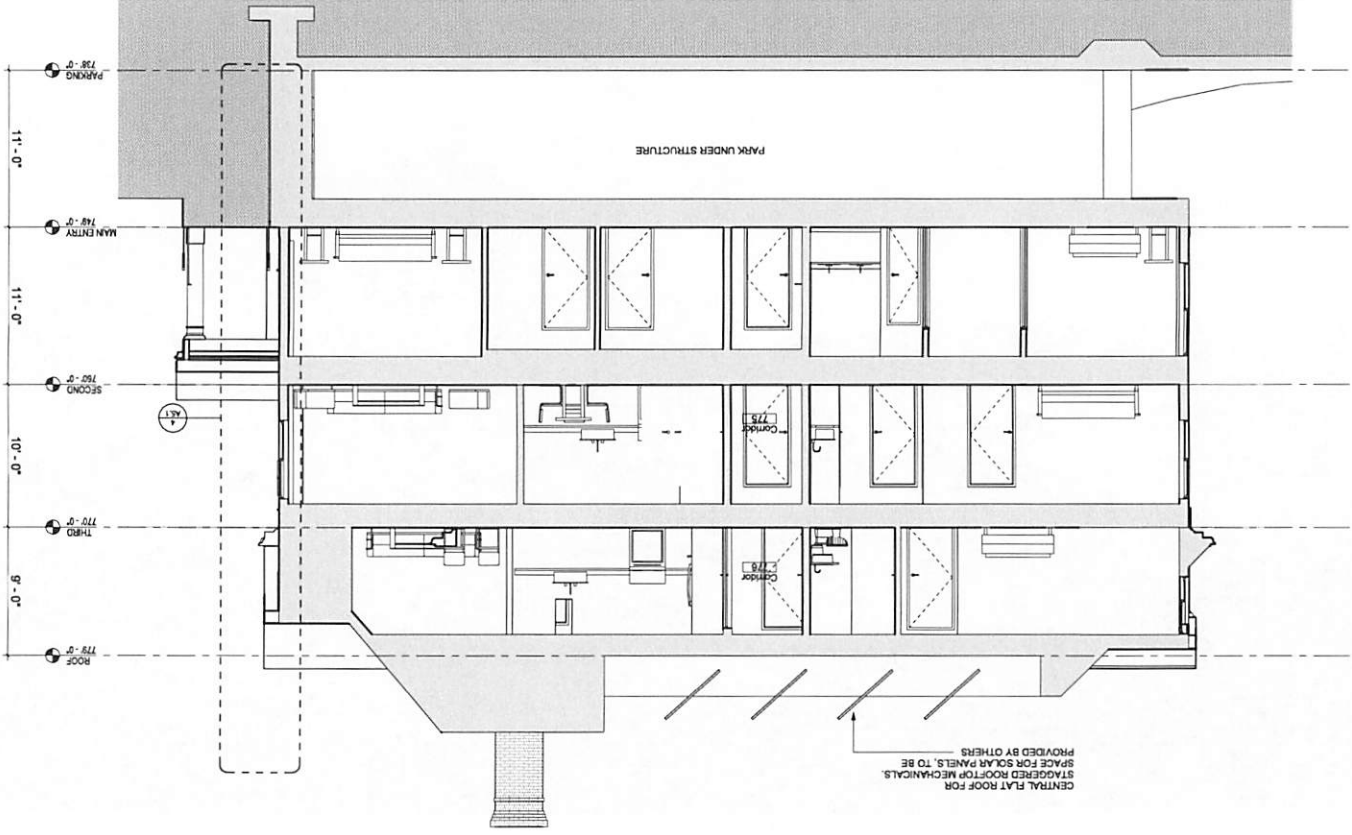


4 WEST
 A3.0 1/8" = 1'-0"

3 SOUTH
 A3.0 1/8" = 1'-0"

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1 Section 12
1/8" = 1'-0"



CENTRAL FLAT ROOF FOR
STAGGERED ROOFTOP MECHANICALS.
SPACE FOR SOLAR PANELS, TO BE
PROVIDED BY OTHERS

A4.0

BUILDING SECTIONS

Permits and Zoning
02.23.2021

Revisions
Issue Date:

PROJECT DESCRIPTION:
HOLLEY PLACE
SALISBURY, CONNECTICUT
Project #: QAM1984

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CONSTRUCTION
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ONLY

QAM architecture
Cusumery Architects
155 Scott Swamp Road
Farmington, CT 06032
qamarch.com

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architecture
Quisenberry + Aron + Malk
195 Scott Swamp Road
Farmington, CT 06032
qamarch.com

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ONLY

PROJECT DESCRIPTION:

HOLLEY PLACE

SALISBURY, CONNECTICUT
Project #: QAM1984

Revisions
Issue Date:



Printing and Zoning
02.03.2021

RENDERINGS

PR1.0

11 Holley Street Salisbury (Intersection of Millerton Road/Holley Street)

Jon Tunsky <JTunsky@todesignllc.com>

To: 'dph.swpmail@ct.gov' <dph.swpmail@ct.gov>

 1 attachments (190 KB)

WatershedorAquiferAreaProjectNotificationFormpdf-11HollyStreet2021.pdf;

Hello,

Please find attached the Watershed or Aquifer Area Project Notification Form for the above stated project.

Jonathan Tunsky, PLA, CPSI

Principal

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Watershed or Aquifer Area Project Notification Form

REQUIREMENT:

Within seven days of filing, all applicants before a municipal Zoning Commission, Planning and Zoning Commission, Zoning Board of Appeals or Inland Wetlands Commission for any project located within a public water supply aquifer or watershed area are required by Public Act No. 06-53 of the CT General Statutes to notify The Commissioner of Public Health and the project area Water Company of the proposed project by providing the following information.

To determine if your project falls within a public water supply aquifer or watershed area visit the appropriate town hall and look at their *Public Drinking Water Source Protection Areas* map. If your project falls completely within or contain any part of a public water supply aquifer or watershed you are required to complete the following information.

Note: You will need information obtained from the *Public Drinking Water Source Protection Areas* map located in the appropriate town hall to complete this form.

Step 1: Have you already notified the CT Department of Public Health (CTDPH) of this project?

- No, Go to Step 2
- Yes, I have notified DPH under a different project name - Complete steps 4-6
- Yes, same name different year - Notification Year Complete steps 4-6

Step 2:

1. Name of public water supply aquifer your project lies within:
2. Name of the public water supply watershed your project lies within:
3. Public Water Supply Identification number (PWSID) for the water utility:

Step 3: For 1-5 Check all that apply

1. My project is proposing:

- Industrial use; Commercial use; Agricultural use; Residential use;
- Recreational use; Transportation improvements; Institutional (school, hospital, nursing home, etc.);
- Quarry/Mining; Zone Change, Please Describe:
- Other, Please describe:

2. The total acreage of my project is:

- Less than or equal to 5 acres Greater than 5 acres

3. My project site contains, abuts or is within 50 feet of a:

- Wetland; Stream; River; Pond or Lake

4. Existing use of my project site is:

Grassland/meadow; Forested; Agricultural; Transportation; Institutional (school, hospital, nursing home, etc.); Residential; Commercial; Industrial; Recreational; Quarry/Mining

Other Please Describe: Parking/Park

5. My project will utilize:

septic system; existing public sewer; new public sewer; agricultural waste facility;

existing private well; new private well; existing public water supply;

new public water supply, if new have you applied for a certificate of public convenience and necessity from

DPH? Yes No

6. My project will contain this percentage of built up area (buildings, parking, road/driveway, pool): Less than or equal to 20% Greater than 20% to 50% Greater than 50%

Step: 4 Applicants Contact Information:

Name: Jonathan Tunsky

E-mail address: jtunsky@todesignllc.com

Telephone: 860-612-1700

Fax number: _____

Step 5: Please provide the following if available:

Project name: Holley Place

Project site address: 11 Holley Street

Town: Salisbury

Project site nearest intersection: Millerton Rd./Holley Street

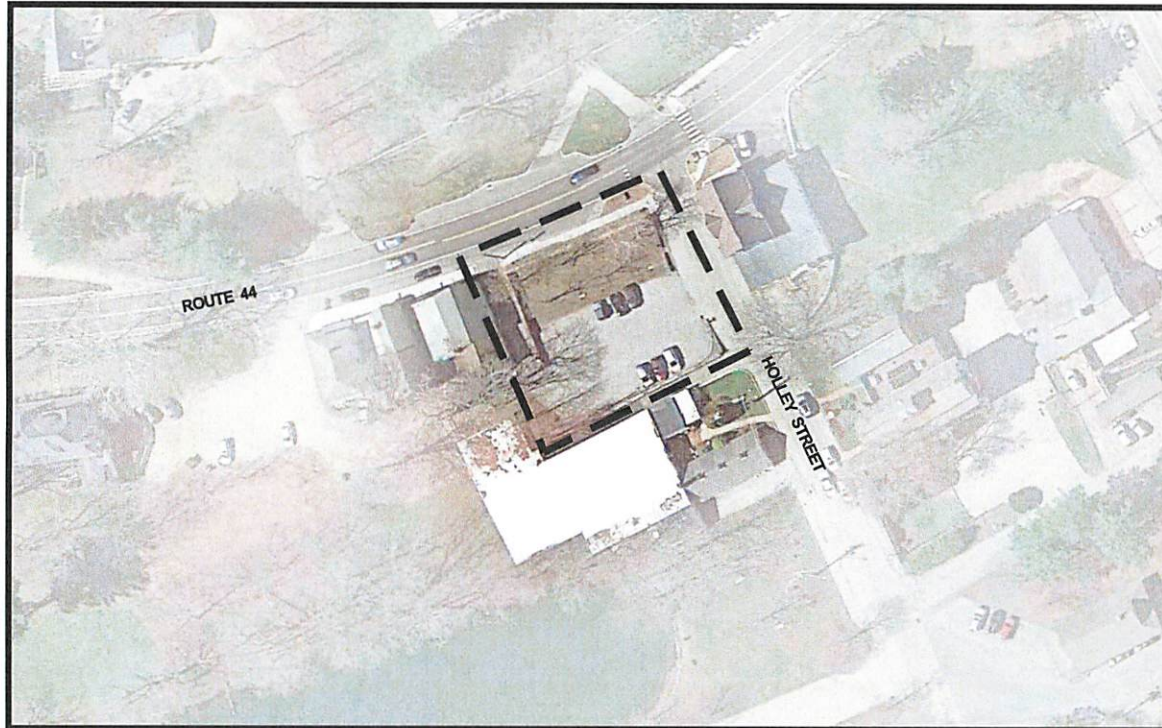
Project site latitude and longitude: 41.963871, -73.441768

E-mail completed form to dph.swpmail@ct.gov

HOLLEY PLACE

11 Holley Street

Salisbury, Connecticut



Project Site

NTS



APPLICATION FOR SPECIAL PERMIT

02.04.2021

Prepared for The Salisbury Housing Committee

President: Anne Kremer

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A1.2	Second Floor
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A1.4	Roof Plan
A3.0	Exterior Elevations
A4.0	Building Sections
PR1.0	Renderings

Prepared by:

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Farmington, CT 06032
qamarch.com

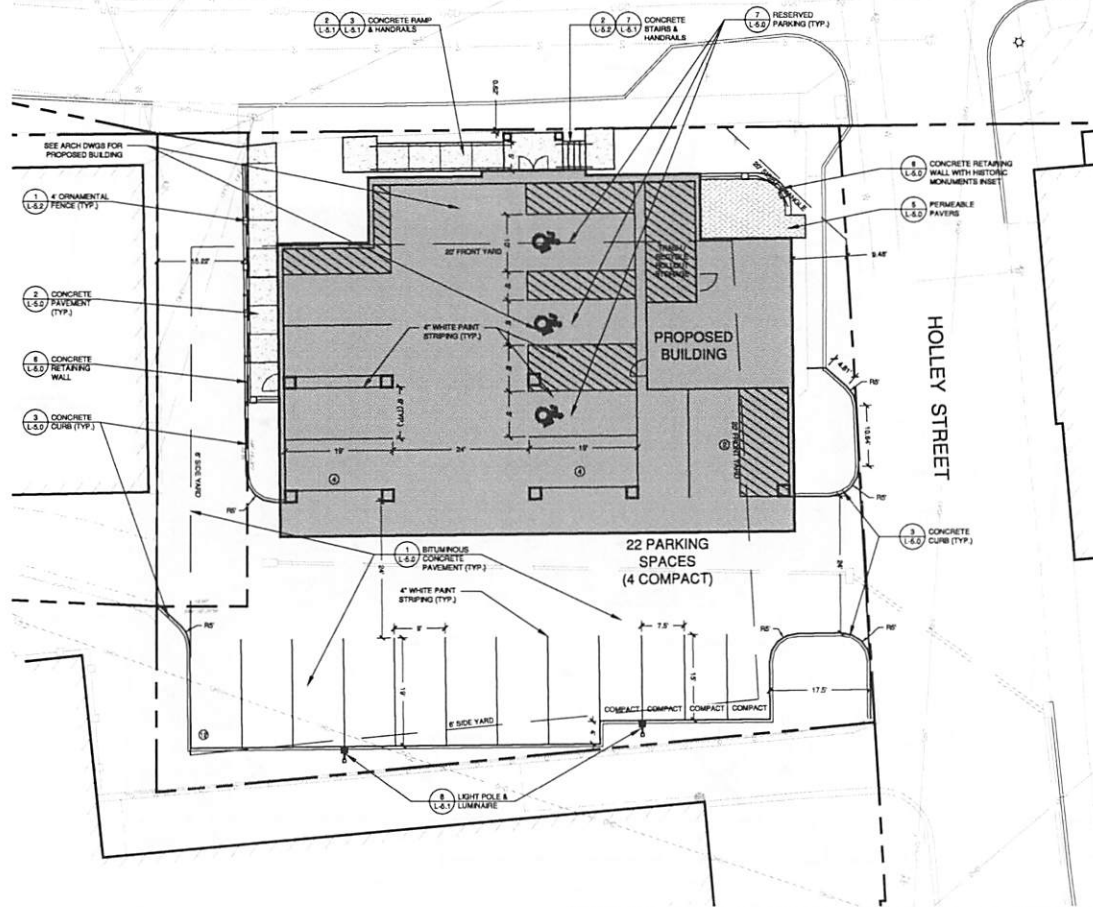
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SITE DESIGN
LANDSCAPE ARCHITECTURE
URBAN PLANNING

114 WEST MAIN STREET
SUITE 202
NEW BRITAIN, CT 06051
860-612-1700

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CREATING MEANINGFUL OUTDOOR SPACES

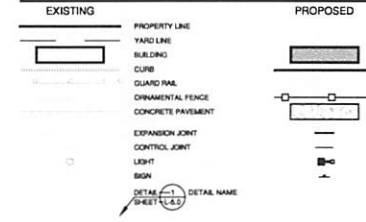
MILLERTON ROAD (ROUTE 44)



LAYOUT NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL STATE, LOCAL, AND FEDERAL REGULATIONS.
2. MATERIALS AND CONSTRUCTION PROCEDURES SHALL COMPLY WITH CT DOT FORM #108-17 AND THE TOWN OF SALISBURY SPECIFICATIONS.
3. CONTRACTOR TO SECURE ALL NECESSARY TRADE PERMITS.
4. NEW PAVEMENT TO MEET LINE & GRADE OF EXISTING PAVEMENTS.
5. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONSTRUCTION ACTIVITIES.
6. LOAD AND SEED ALL DISTURBED AREAS NOT COVERED BY OTHER IMPROVEMENTS.
7. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED.
8. ALL LOCATIONS WHERE EXISTING CURBING, BITUMINOUS CONCRETE ROADWAY OR CONCRETE ROADWAY OR CONCRETE SIDEWALK ADJUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO PROVIDE A CLEAR, SMOOTH EDGE. TACK COAT EXPOSED EDGES OF EXISTING CONCRETE PRIOR TO PLACEMENT OF NEW BITUMINOUS CONCRETE PAVEMENT.
9. FIELD ADJUSTMENTS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE AND APPROPRIATE MUNICIPAL OFFICIALS PRIOR TO CONSTRUCTION.
10. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE VERTICAL AND HORIZONTAL POSITION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
11. CONTRACTOR SHALL CONTROL DUST CAUSED BY HIS OPERATIONS BY APPLYING WATER OR DUST PALMATIVE, OTHER THAN CALCIUM CHLORIDE.
12. CONTRACTOR SHALL CONTROL NOISE TO AS GREAT AN EXTENT AS POSSIBLE. ALL POWER EQUIPMENT USED DURING CONSTRUCTION SHALL BE EQUIPPED WITH MUFFLERS.
13. MANUFACTURED ITEMS SHALL BE INSTALLED, CONNECTED AND CLEANED ACCORDING TO THE MANUFACTURER'S DIRECTIONS.
14. PRIOR TO PROJECT CLOSE-OUT, CONTRACTOR SHALL REMOVE ALL DEBRIS AND EXCESS MATERIALS FROM SITE. ALSO, ANY DAMAGE TO FIELD OR FACTORY APPLIED FINISHES SHALL BE REPAIRED.
15. EXPANSION AND SCORE JOINTS FOR NEW CONCRETE WALKS SHALL BLEND TO MATCH EXISTING PATTERNS. CONTRACTOR TO ARRANGE TRUCK OR SITE CONFERENCES WITH LANDSCAPE ARCHITECT TO APPROVE LAYOUT OF JOINT PATTERNS.
16. PROVIDE EXPANSION JOINTS FOR NEW CONCRETE PAVING AT ALL CURBS, BUILDING WALLS, SITE WALLS, STAIRS, EXISTING CONCRETE PAVING, AND ALL OTHER FORGED MATERIALS. MAXIMUM DISTANCE BETWEEN EXPANSION JOINTS SHALL NOT EXCEED 25 FEET.

LEGEND



ZONING INFORMATION

ZONE: P130 (POCKET-TOWNS SQUARE OVERLAY DISTRICT) (L-2.0)	REQUIRED	EXISTING	PROPOSED	CONFORMANCE
	USE	PARKING	MULTI-FAMILY DWELLING	
MAXIMUM DENSITY	16 UNITS/ACRE (1)	0	12	YES
MAX. BUILDING HEIGHT	40'	0'	32'	YES
MIN. LOT AREA	20,000 SF	13,500 SF	13,500 SF	EXISTING CONDITION
MIN. STREET FRONTAGE	25'	103.81'	103.81'	YES
FRONT YARD	20'	N/A	0.67' (2)	YES
MAX. BUILDING COVERAGE	75%	0%	40.1% (2)	YES
SIDE YARD	6'	N/A	8.4F'	YES
REAR YARD	10'	N/A	N/A	YES
PARKING SPACES	18 (1 PER UNIT)	28	22	YES
MAX. COMPACT PARKING SPACES	20%	0	19% (4 SPACES)	YES

(1) A MINIMUM OF 60% OF UNITS ARE AFFORDABLE AND THE MINIMUM SIZE IS GREATER THAN 350 SQUARE FEET.
 (2) MATCHES EXISTING FRONT YARD SETBACK OF BUILDINGS ON ADJUTING PROPERTIES
 (3) BUILDING COVERAGE: 847 SF / 13,500 SF = 40.1%

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SITE DESIGN
 LANDSCAPE ARCHITECTURE
 URBAN PLANNING

HOLLEY PLACE

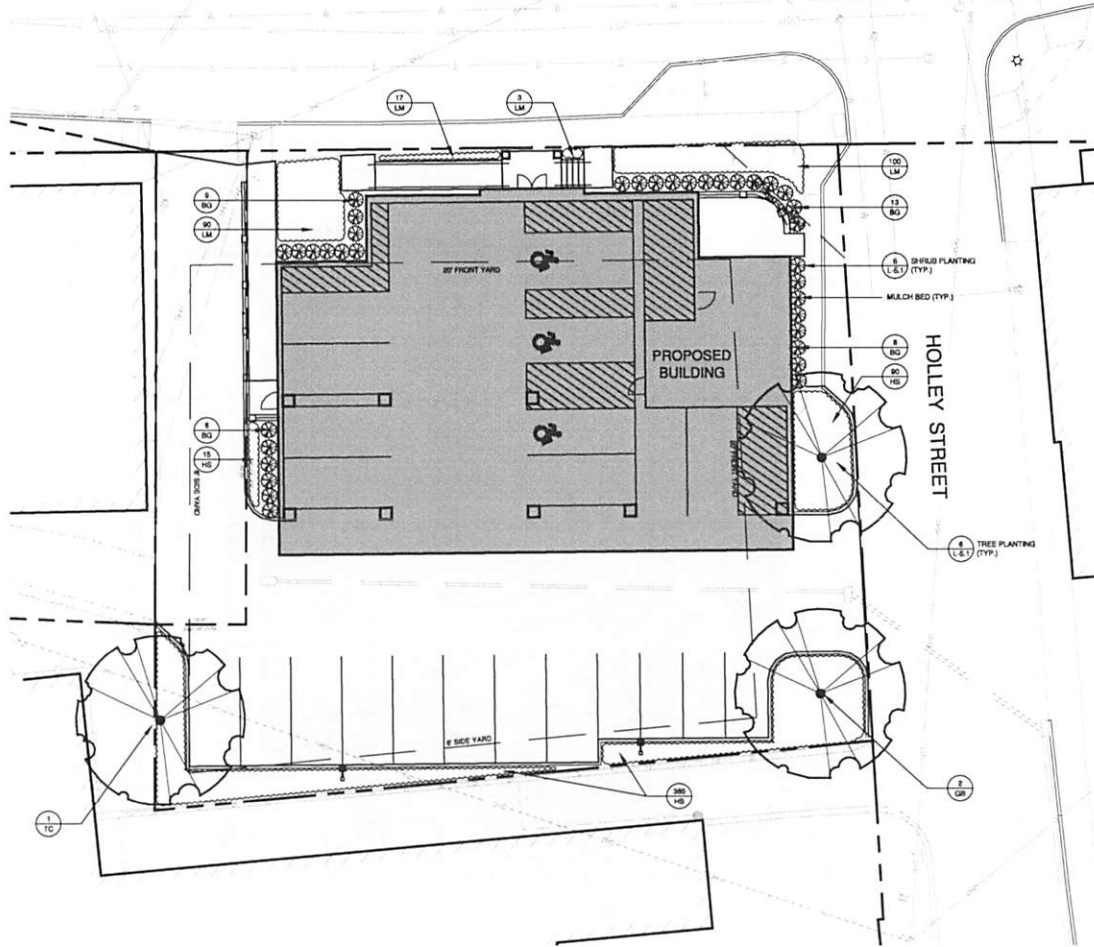
11 HOLLEY STREET
 SALISBURY, CT
 Project #: 6342

Revisions:
 Issue Dates:
 APPLICATION FOR SPECIAL PERMIT
 02.04.2021

Layout Plan

L-2.0

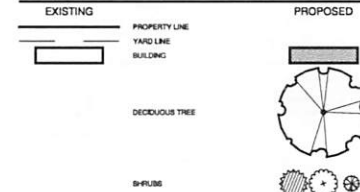
MILLERTON ROAD (ROUTE 44)



PLANTING NOTES

1. ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO APPLICABLE A.A.N. STANDARDS.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
3. ALL PLANTS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION AND SHALL BE LOCATED AT THE GROWING SITE BY THE CONTRACTOR, FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT. ANY INSTALLATIONS WHICH WERE NOT APPROVED BY THE LANDSCAPE ARCHITECT AND WHICH ARE SUBSEQUENTLY REQUESTED TO BE REMOVED, WILL BE DONE AT THE CONTRACTOR'S EXPENSE.
4. PRECISE LOCATION OF TREES NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
5. ALL SHRUBS AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH.
6. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGE, AT HIS OWN EXPENSE.
7. ALL SHRUB AND GROUND COVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL, 18" DEEP.
8. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD. WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
9. PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND/OR LAWN SEEDS OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
10. SUBSTITUTIONS PERMITTED ONLY UPON WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
11. PLANT TAGS TO REMAIN ON ALL PLANT MATERIAL UNTIL FINAL ACCEPTANCE. CONTRACTOR TO THEN REMOVE ALL PLANT TAGS.
12. WHERE A SIZE RANGE IS GIVEN IN THE PLANT SCHEDULE, AT LEAST 80% OF THE PLANTS PROVIDED SHALL BE OF THE LARGER SIZE.
13. CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR AFTER DATE OF FINAL ACCEPTANCE.
14. CONTRACTOR TO MAINTAIN ALL PLANT MATERIAL UNTIL 90 DAYS AFTER FINAL ACCEPTANCE UNLESS NOTED OTHERWISE IN SPECS.
15. TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES AND NOT COVERED BY OTHER SITE IMPROVEMENTS.

LEGEND



PLANT SCHEDULE

CATEGORY	SYM.	NO.	BOTANICAL NAME	COMMON NAME	SIZE	COND.
DECIDUOUS TREES	DB	2	QUERCUS ALBA PRINCETON SENTINEL	PRINCETON SENTINEL MANDARIN TREE	7' - 3 1/2" CAL.	BAR
	TC	1	OLEFTRA TRI-CANTON SHADOMASTER	SHADOMASTER HONEYLOCUST	7' - 3 1/2" CAL.	BAR
SHRUBS	BS	35	BUELS X GREEN VELVET	GREEN VELVET BODENWOOD	12" - 18"	CONT.
PERENNIALS	HS	490	HEMEROCALLIS 'STELLA DE ORO'	STELLA DE ORO DAYLILY	1 GAL.	CONTAINER, 18" O.C.
	LM	210	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILY TURF	1 GAL.	CONTAINER, 18" O.C.



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SITE DESIGN
LANDSCAPE ARCHITECTURE
URBAN PLANNING

HOLLEY PLACE
11 HOLLEY STREET
SALISBURY, CT
Project #: 6342

Revisions
Issue Dates:
APPLICATION FOR SPECIAL PERMIT
02.04.2021

Planting Plan
L-4.0

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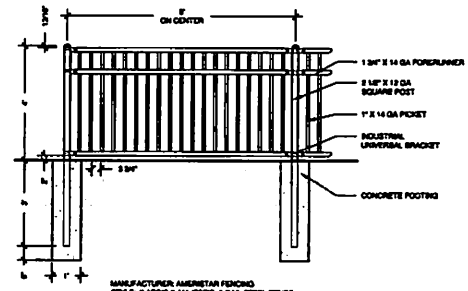
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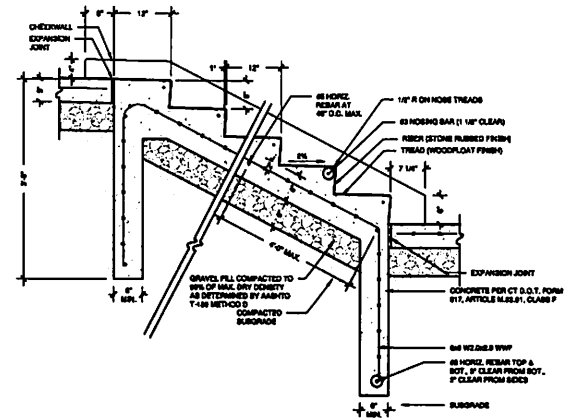
67TH DESIGN
 LANDSCAPE ARCHITECTURE
 URBAN PLANNING

HOLLEY PLACE

11 HOLLEY STREET
 SALISBURY, CT
 Project #: 6342



① 4' ORNAMENTAL FENCE
 SCALE 1/2" = 1'-0"



② CONCRETE STAIRS
 SCALE 1" = 1'-0"

Provisions:
 Issue Date:

APPLICATION FOR SPECIAL PERMIT
 CLEARCUT

Details

L-5.2

SEDIMENTATION AND EROSION CONTROL

PER STATE OF CONNECTICUT PUBLIC ACT 69-606

All applicable practices recommended by the 2002 CT Guidelines for Soil Erosion & Sediment Control are indicated by reference.

1. DESCRIPTION

The project involves construction of a new building and site improvements that include new bituminous pavement, concrete walks, lighting, outdoor paths, and parking.

2. SCHEDULE

The project is anticipated to begin construction in 2021.

3. DESIGN AND CRITERIA

Note: The Contractor shall name one individual as his Sediment and Erosion Control Supervisor whose primary responsibility will be the maintenance of all on-site erosion control measures. He will bring a daily log of his activities and an updated schedule of proposed construction activities. The log will be made available to inspectors.

A. GEOTEXTILE SILT FENCE (GSF) - Shall be non-woven material, minimum 30" high and installed to reveal a maximum slope of 4:1. All faces shall be treated with and not turned up grade at 45 degrees for a distance of 12 feet.

B. TEMPORARY SEDIMENT (TS)

- Contractor shall secure the soil to a depth of 1" before applying further, limestone and seed.
- Seed may be applied by hand or mechanically. Seed application shall be uniform. Seed rates shall be in accordance with the 2002 Connecticut Soil Erosion and Sediment Control - Erosion control rates by 10% when hydroseeding, limestone, fertilizer and seed may be applied in slurry.
- Contractor shall create some (2%) immediately following seeding (plant). In the event seeding operations are not feasible due to irregular conditions or estimated imminent weather patterns, the Contractor shall install an Erosion Control Blanket over exposed soils.

C. PERMANENT SEDIMENT (PS)

- Contractor shall apply topsoil and the grade of areas before the application of permanent seed. Apply limestone and fertilizer as needed, in accordance with soil tests.
- Remove all surface objects 18 inch and larger. Remove all other debris and reseed seed bed.
- Apply seed within 7 days after establishing final grade. See parking area.

D. HAY BALE BARRIER (HBB) - Shall be made of hay or straw with 40 pounds minimum weight and 120 pounds maximum weight, held together by wire or net. (See detail this sheet.)

E. CONSTRUCTION ENTRANCE (CE) - Shall be an angular stone (DOT Standard Stone Section M-21) one (2) inch (2) inch, a minimum of 12" wide and 6' long. (See detail this sheet.)

F. EROSION CONTROL BLANKET (ECB) - Erosion mat shall be placed on all exposed soil/PS always deeper than 3" (including cracks & ditches) to prevent exposed soil and maintain constant to enhance vegetation growth in wooded areas. Mats for landscaping shall be straw or mulch-based fiber construction woven together with lightweight netting. Use four (4) inch diameter grass, (ECB) - always use 10, 100 lbs rolls from 21" up to 2-1/2' or greater. Temporary mat shall be applied to areas less than 24' wide and all areas to be left barren over the winter, mat shall be to be 70 percent/1000 g/l.

4. APPLICATION/INSTALL PROCEDURES

- Soil erosion and sediment control measures will be installed prior to any site alterations, and development will proceed according to a typical construction sequence. The objective is to maintain the reduction of sediment before runoff through implementation of conventional soil sedimentation and erosion control practices currently recommended by the 2002 "CT Guidelines for Soil Erosion and Sediment Control".
- Earthwork will be scheduled for periods when soil saturation is low and soil has hardened to a minimum.
- Suggested earthwork for major storm events and implement additional sedimentation and erosion control measures as necessary.
- There shall be no silt or SS left exposed for longer than 30 days. The established procedure of temporary seeding control areas with erosion protection (seed or hay) shall be followed to insure minimal soil loss.

5. MONITORING AND MAINTENANCE PROGRAM

- For the duration of the project construction, the Contractor shall maintain all sedimentation and erosion control devices to insure their efficient operation.
- The responsibility for performing periodic checks of the protection system to insure and to coordinate clearing and repair operations shall be assigned to the General Contractor's project representative.
- All sedimentation and erosion control devices shall be checked for the efficiency of the control systems prior to adverse site weather forecasts - inspect control system during and after storm to determine necessary repairs.
- Responsibility to sedimentation control systems directed by the project representative shall be done within 24 hours of the forecast or as soon as possible prior to storm warning.
- Replacement materials for the devices utilized shall be readily available for repair.
- Check sedimentation and erosion control devices as directed by the project representative.
- Placement of temporary sedimentation and erosion control devices that are not shown on plans, but are required due to Contractor's operations, shall be placed at the direction of the project representative.
- Clear control and debris debris caused by the Contractor's earthwork operations shall be prevented, or cleaned-up in accordance with the standard data specification "Form 914".

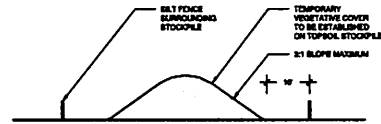
6. SPECIFIC MAINTENANCE MEASURES SHALL BE AS FOLLOWS:

- GEOTEXTILE SILT FENCE (GSF)** - Inspect GSF at least once a week and within 24 hours of the end of any storm event of 0.5-inch or greater. Repair or replace the faces within 24-hours of observed failure.
- HAY BALE BARRIER (HBB)** - Inspect HBB at least once a week and within 24 hours of the end of any storm event of 0.5-inch or greater. Repair or replace the hay bales within 24-hours of observed failure.
- CONSTRUCTION ENTRANCE (CE)** - Maintain the entrance in a condition which will prevent tracking and washing of sediment onto paved surfaces. Periodically top dressing with additional stone or additional length as conditions dictate. Repair any materials used in this entrance as needed. Immediately remove all sediment spilled, dropped, washed or tracked into paved surfaces. Repair required for a construction site shall be left open at the end of each day.

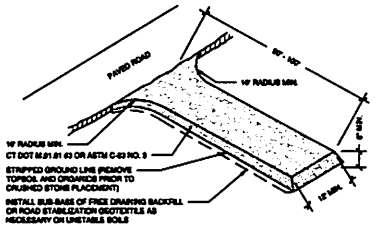
If the construction entrance is being properly maintained and the action of a vehicle traveling over the stone mat is not sufficient to ensure the integrity of the entrance, then either (1) increase the length of the construction entrance, (2) install the construction entrance head surface, or (3) install washing mats and associated parking area or similar device before the vehicle enters a paved surface.

D. SEDGING (TEMPORARY & PERMANENT)
 Inspect washed areas at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch replacement and 45 erosion.
 Where seed has been sown or where soil erosion has occurred, determine the cause of the failure. Seed seeding may be a problem if much less applied too freely to protect seed. The seed and re-apply. If movement into the road of seed, then repair erosion damage if any. Heavy seed and mulch and apply mulch earthwork. If failure was caused by compressed earth, install additional measures to control water and sediment movement, repair erosion damage, re-seed and re-apply mulch with topsoil or use Temporary Erosion Control Blanket material.

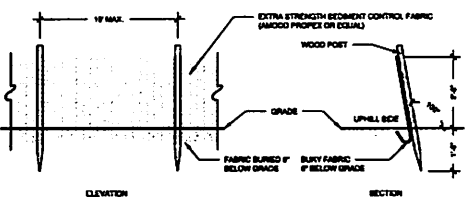
Continue inspections until the process are fully established. Changes shall not be considered established and a ground cover is achieved until it remains enough to control soil erosion and to survive adverse weather conditions (approximately 80% vegetative surface cover).



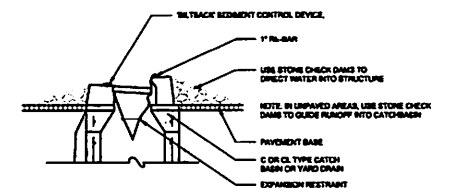
1 TOPSOIL STOCK PILE AREA
N.T.A.



2 CONSTRUCTION ENTRANCE (CE)
N.T.A.



3 GEOTEXTILE SILT FENCE (GSF)
N.T.A.



4 SILT SACK (SS)
N.T.A.

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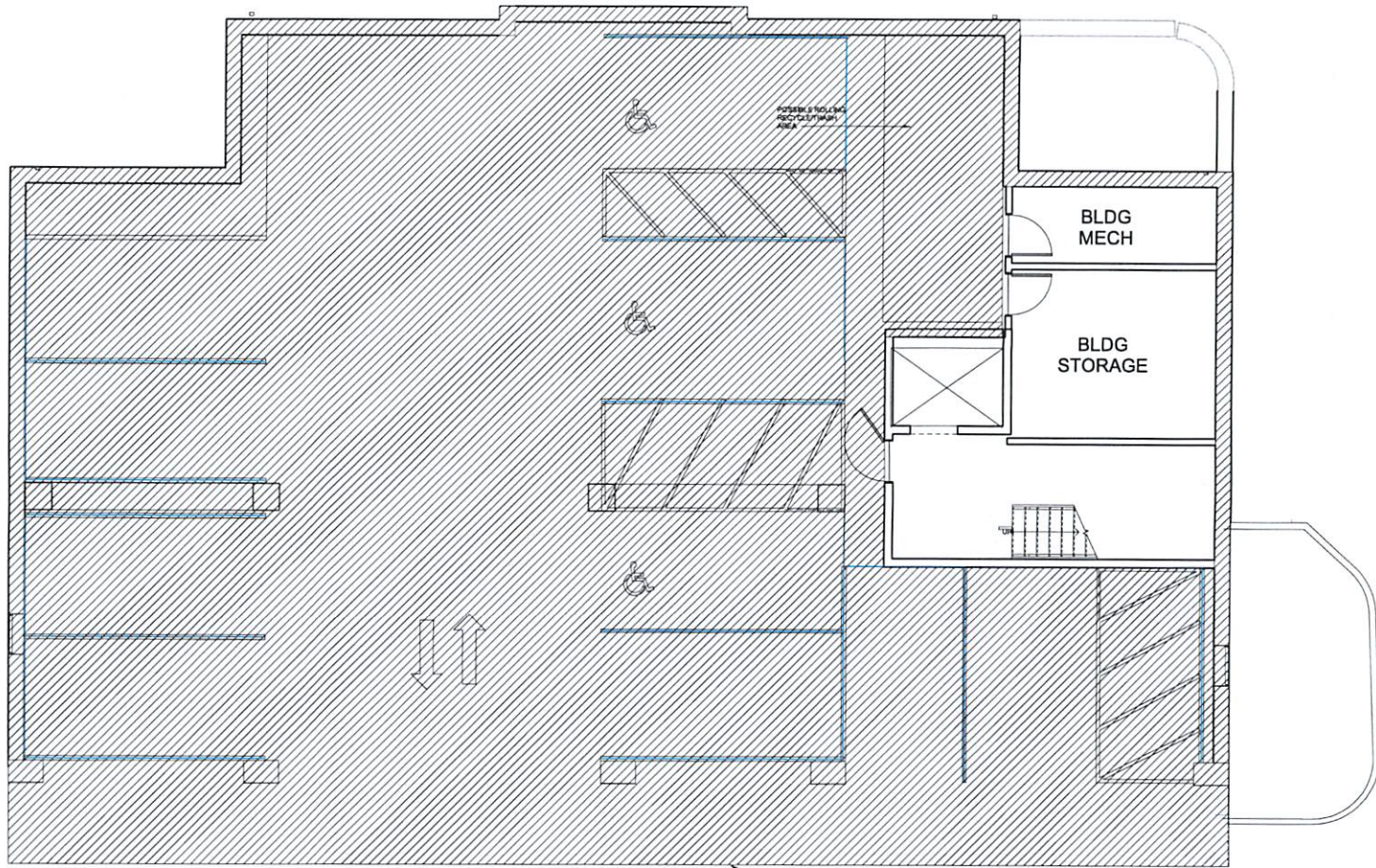
HOLLEY PLACE

HOLLEY PLACE
 11 HOLLEY STREET
 SALISBURY, CT
 Project R. 6342

Revisions
 Issue Dates
 APPLICATION FOR SPECIAL PERMIT (CLASS 2)

**Erosion & Soil
 Sedimentation Control
 Notes and Details**
ES-1

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 ONLY

PROJECT DESCRIPTION:

HOLLEY PLACE

SALISBURY, CONNECTICUT
 Project #: QAM1984

Revisions

Issue Date:

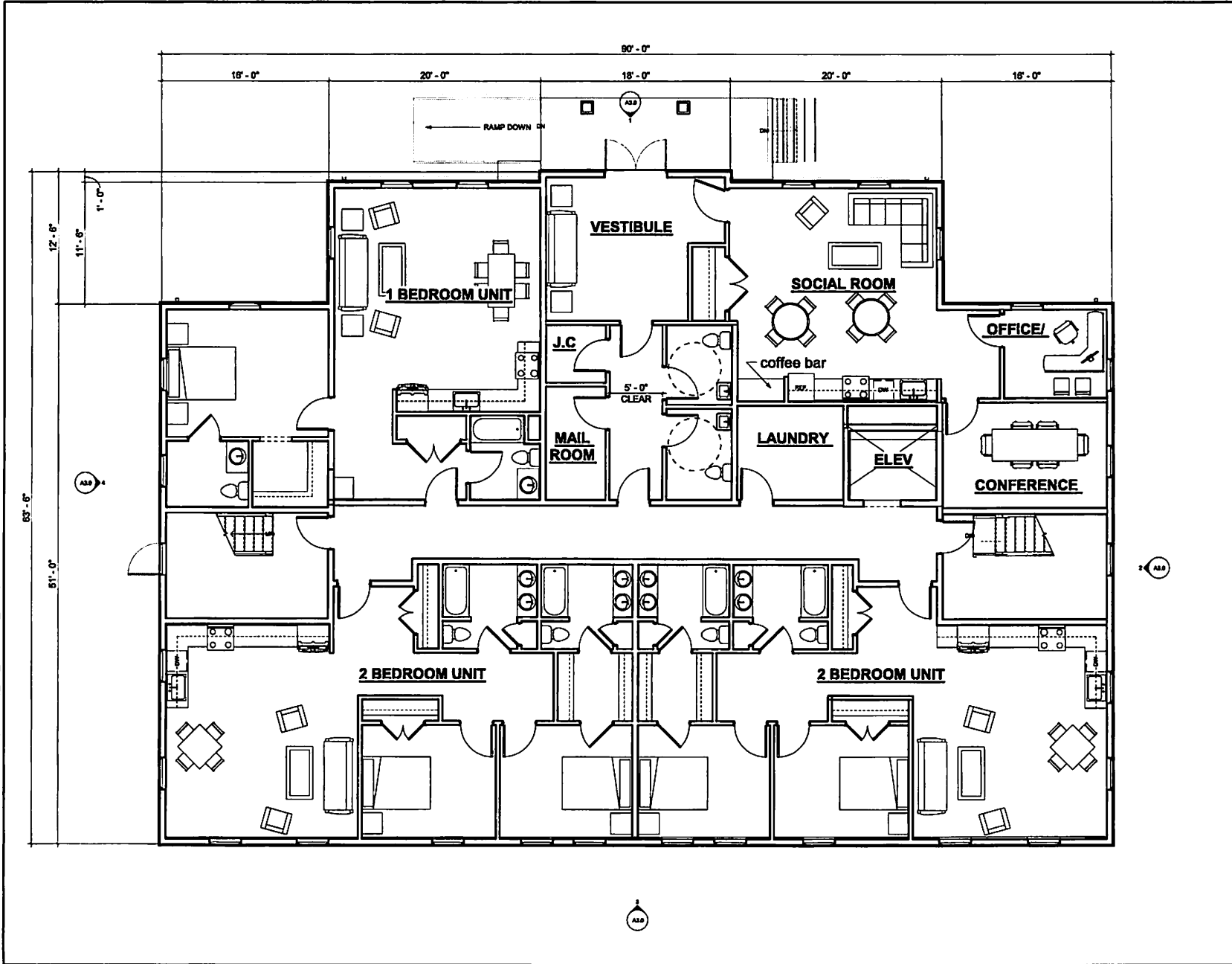


Planning and Zoning
 02.03.2021

PARKING LEVEL FLOOR PLAN

A1.0

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PROJECT DESCRIPTION:

HOLLEY PLACE

SALISBURY, CONNECTICUT
 Project #: QAM1984

Revisions:

Issue Date:



Printing and Plotting
 02.03.2021

MAIN FLOOR PLAN

A1.1

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CONSTRUCTION
ISSUED FOR REVIEW
ONLY

PROJECT DESCRIPTION:

HOLLEY PLACE

SALISBURY, CONNECTICUT
Project #: QAM1984

Revisions:

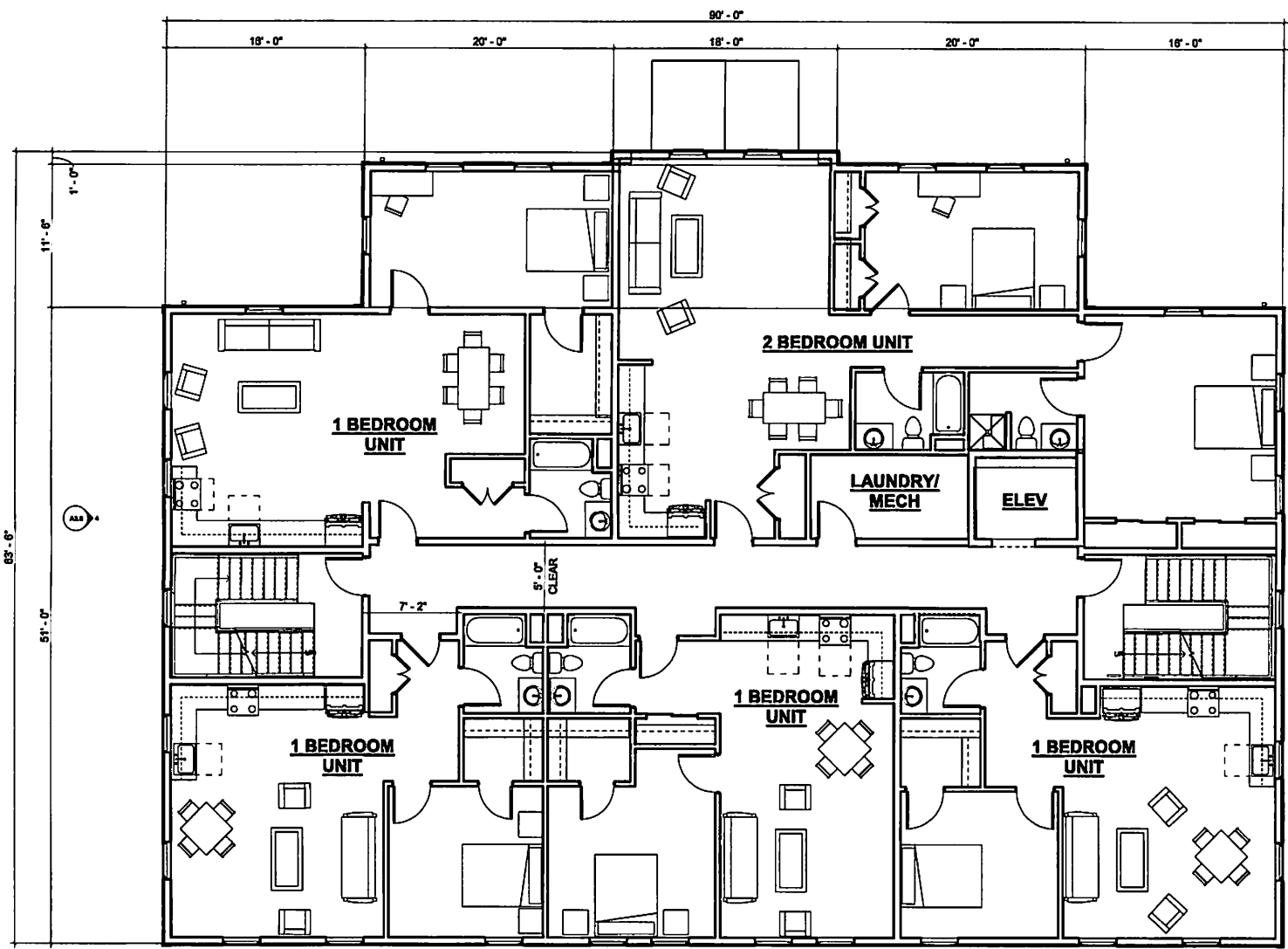
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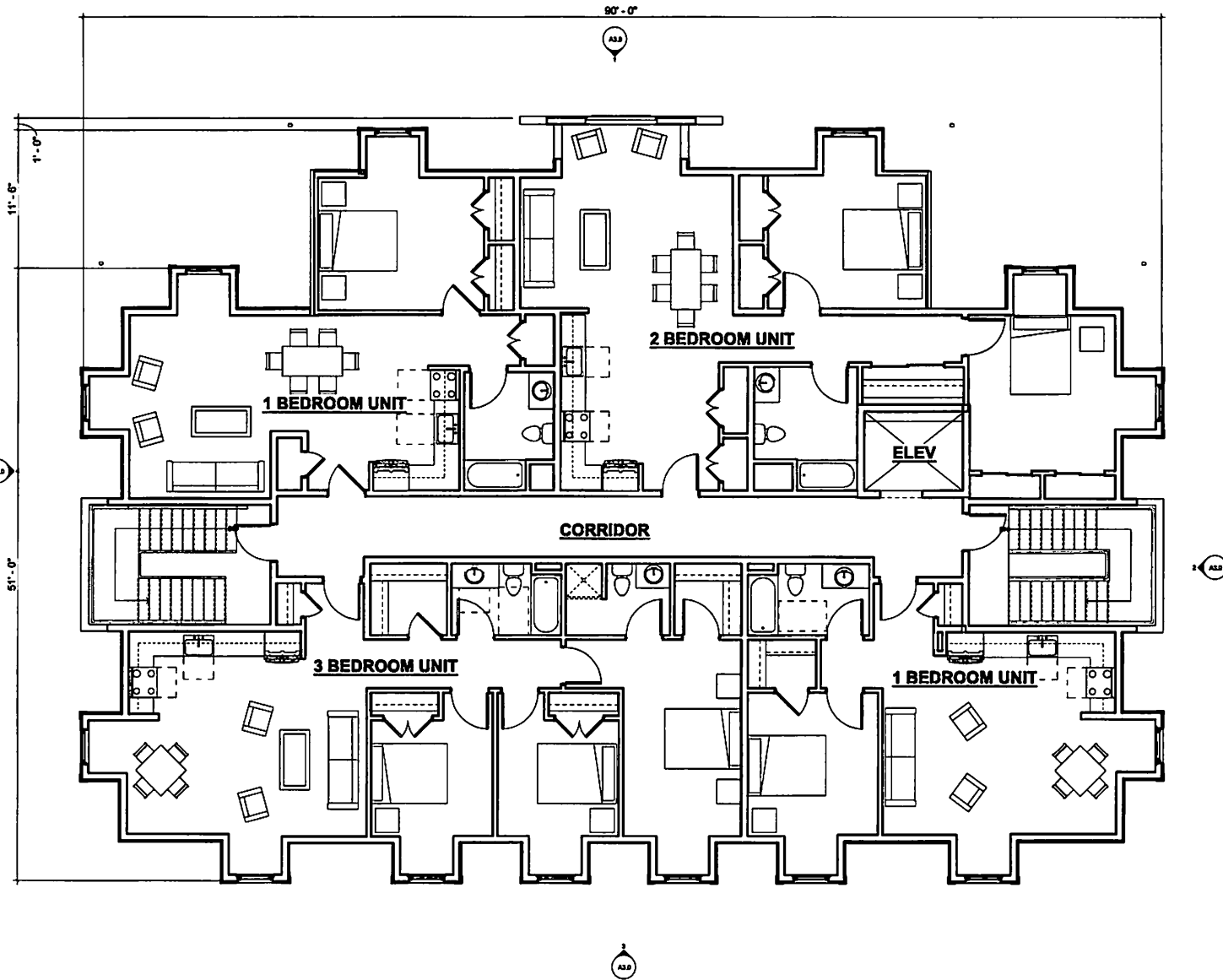
Printing and Zoning
02.03.2021

SECOND FLOOR

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PROJECT DESCRIPTION:

HOLLEY PLACE

SALISBURY, CONNECTICUT
 Project #: QAM1884

Revisions

Issue Dates:



Printing and Dwg Date:
 03/23/2021

THIRD FLOOR

A1.3

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PROJECT DESCRIPTION:

HOLLEY PLACE

SALISBURY, CONNECTICUT
Project #: QAM1984

Revisions

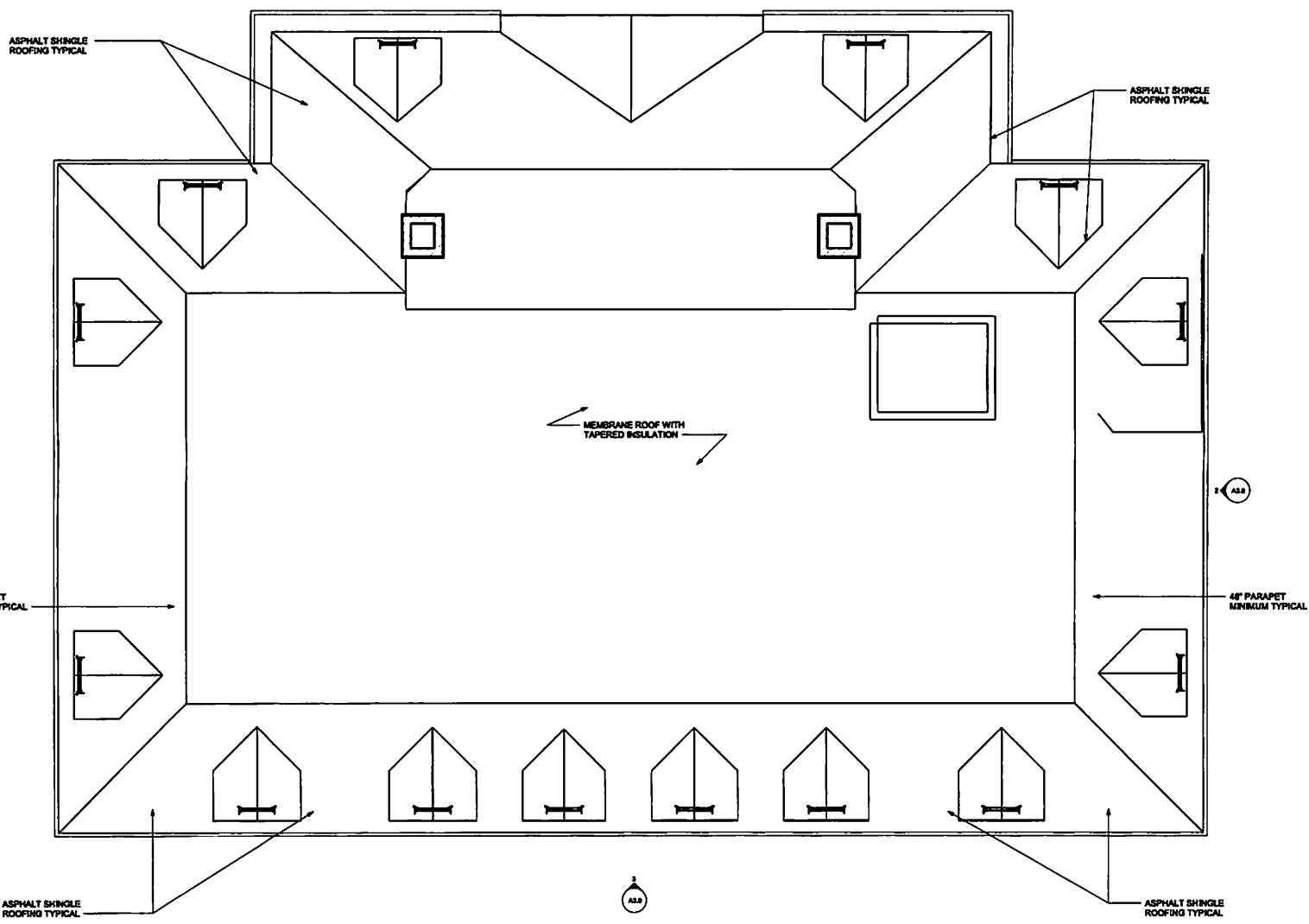
Issue Dates



Printing and Dwg
02.03.2021

ROOF PLAN

A1.4



NOT FOR
 CONSTRUCTION
 ISSUED FOR REVIEW
 ONLY

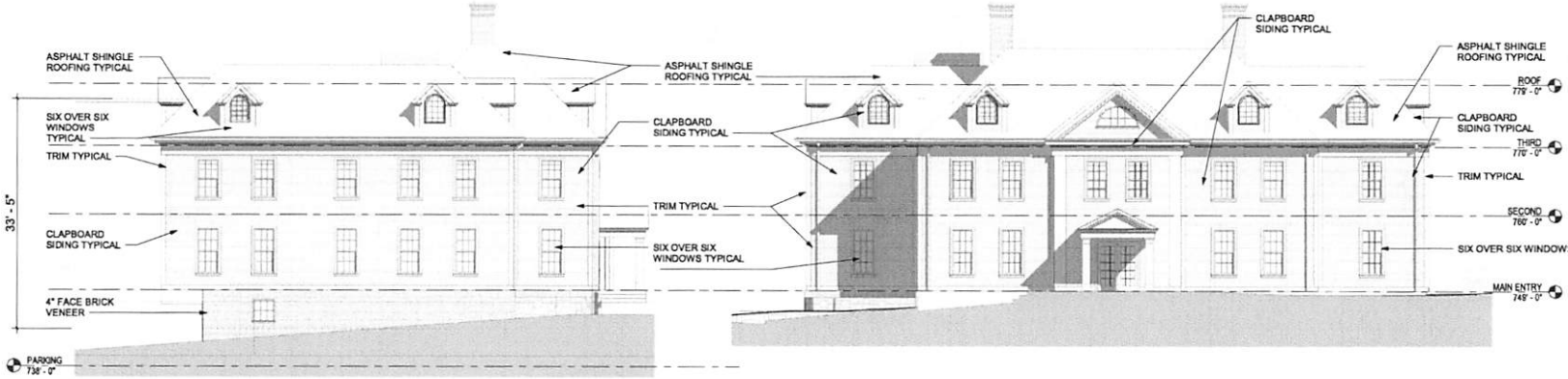
PROJECT DESCRIPTION:
HOLLEY PLACE
 SALISBURY, CONNECTICUT
 Project #: QAM1984

Revisions
 Issue Dates:

Planning and Zoning
 03.03.2021

EXTERIOR ELEVATIONS

A3.0



2 HOLLEY STREET
 A3.0 1/8" = 1'-0"

1 MAIN STREET
 A3.0 1/8" = 1'-0"

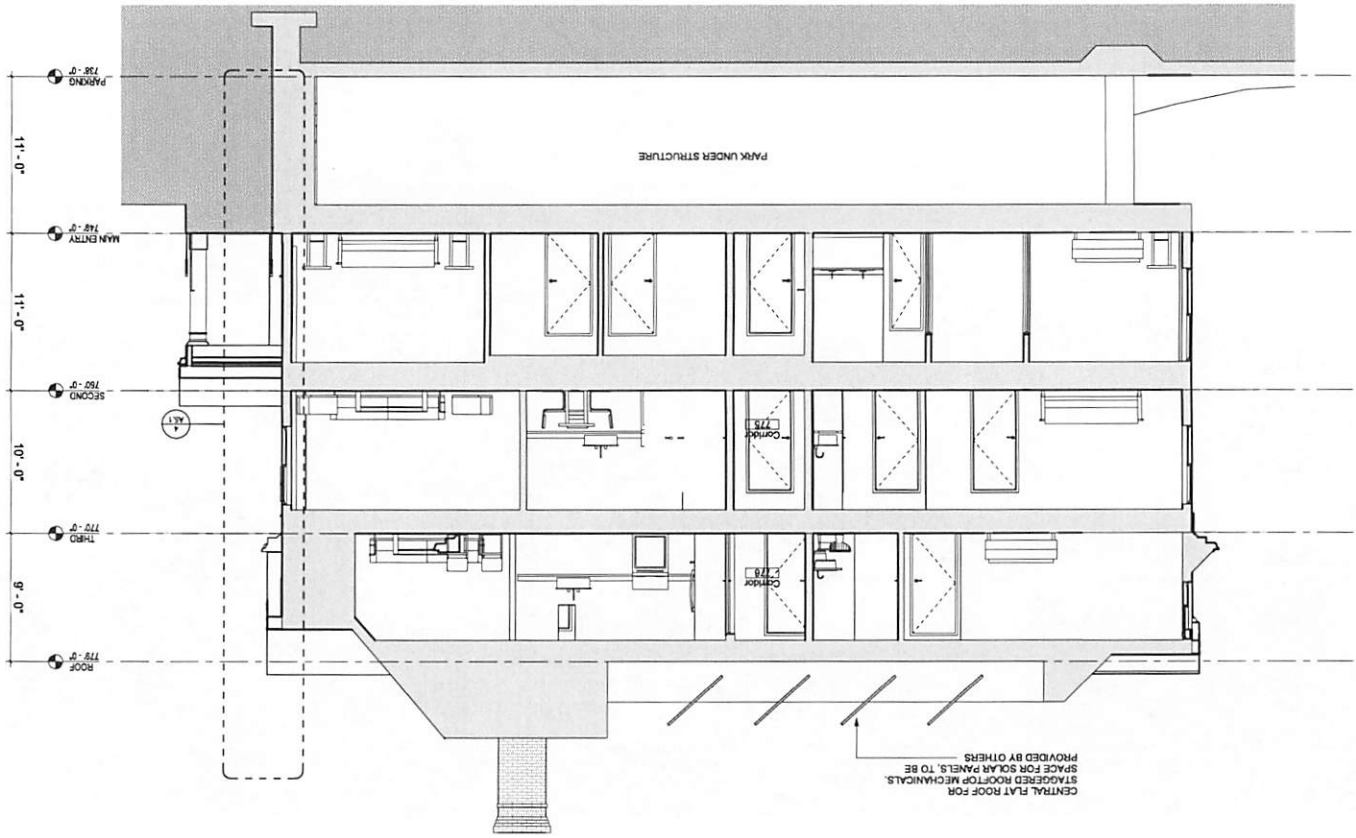


4 WEST
 A3.0 1/8" = 1'-0"

3 SOUTH
 A3.0 1/8" = 1'-0"

2/3/2021 10:51:25 AM C:\Revit Local\Salisbury Housing_DD_FEDERAL_roccopeltito.rvt

1 Section 12
A4.0 1/8" = 1'-0"



A4.0

BUILDING SECTIONS

Perkins and Zeman
02.03.2021

Issue Date:

Revisions

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QA+M
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Planning and Zoning
02.03.2021

RENDERINGS

PR1.0