

ZONING BOARD OF APPEALS

Telephone: 860-435-5190
Fax: 860-435-5172
Email: landuse@salisburyct.us



TOWN OF SALISBURY CONNECTICUT

Town Hall
P.O. Box 548
27 Main Street
Salisbury, Connecticut 06068

APPLICATION TO THE ZONING BOARD OF APPEALS

Date: 09/22/2022

Property Address: 16 Woodland Drive

Zoning District: RR-1 Assessor's Map#: 35 Lot#: 6

Name of Applicant: Zimmerman, Aaron & Alycia Telephone#: 917-842-2222

Mailing Address: 16 Woodland Drive, Lakeville, CT 06039

Email Address: aaron.s.zimmerman@gmail.com

If the applicant is not the owner, please provide the following information:

Name of Owner: _____ Telephone#: _____

Mailing Address: _____

Owner Email Address: _____

NATURE OF RELIEF SOUGHT:

(I/We) hereby apply for a variance relating to section(s) 304, 305.1 & Table 300.2 of the Salisbury Zoning Regulations.

(I/We) are appealing a decision of the Zoning Enforcement Officer relating to (Please refer to State Statute § 8-7, regarding the deadline to file an appeal):

(I/We) hereby apply for a certificate of approval of the location for a motor vehicle sales or repair business.

INSTRUCTIONS – Read the following instructions so that you are aware of the requirements of the Zoning Board of Appeals (ZBA) and the process for an appeal. Incomplete applications or inaccurate information may result in an application being denied.

1. Procedure

- a. Applications may be obtained from the Land Use Office in the Town Hall or are available online at www.salisburyct.us/zoning-board-of-appeals. An application must be completed and submitted, with supporting materials to the ZBA or to the officer from whom the appeal has been taken, in the Land Use Office at the Salisbury Town Hall. All applications must comply with the provisions of the Connecticut General Statute Section 8-7.
- b. If the space provided on this form is not sufficient for your needs, please use attachments.
- c. Completed applications must be submitted by noon the Thursday prior to a meeting of the ZBA in order to be placed on the agenda. The schedule of meetings and hearings for the ZBA is posted with the Town Clerk and are available at www.salisburyct.us/calendar/
- d. All meetings of the ZBA are open to the public. ZBA hearings are advertised public hearings at which the Board hears testimony from the applicants or their representatives and all other interested parties who may wish to be heard. Once the hearing has been closed, no additional comments from the public or an applicant will be accepted.
- e. The ZBA will render a decision as soon as practicable after the close of a public hearing.

2. Variance Criteria – The ZBA will consider the following factors in determining whether to grant a variance:

- a. The variance power should be exercised sparingly and only under exceptional circumstances.
- b. The variance must be shown not to affect substantially the comprehensive zoning plan; and adherence to the strict letter of the zoning ordinances must be shown to cause unusual hardship, unnecessary to the carrying out of the general purposes of the zoning plan.
- c. Proof of hardship must be due to unique circumstances to the land, not created by the applicant or predecessors-in-title. Special conditions and circumstances must exist which are peculiar to the land or structure involved and which are not applicable to other land or structures in the same district. It must also be demonstrated that the property cannot reasonably be developed for another permitted use or that compliance with the regulation will be confiscatory or arbitrary.
- d. Economic hardship such as financial loss or disappointment in the use of property does not constitute a basis for granting a variance. Variances cannot be based on what makes better practical sense or what is more convenient for the property owner.
- e. The fact that a requested variance might be very, very minor in scope does not make it a legal hardship sufficient to support the grant of a variance.

3. Required Supportive Materials – Five (5) copies of plans and maps are required.

- ☑ \$360 Fee (Includes \$60 State Fee) is required for all requests - check made payable to the 'Town of Salisbury'
- ☑ One copy of the deed and/or a legal description of the property - obtained from the Land Records with the Town Clerk (not required for appealing a decision of the Zoning Enforcement Officer).
- ☑ Letter of authorization - in the event that the applicant does not represent himself/herself at the public hearing, the applicant must provide a letter, which authorizes an agent to represent him/her at such meeting.
- ☑ Current A-2 Survey (not required for appealing a decision of the Zoning Enforcement Officer)- required unless waived by the Board for good cause shown.
- ☑ Two (2) copies of large maps or site plans are required. They must show all data pertinent to the application which shall include at least the following:
 - Date of drawing
 - Scale
 - North arrow
 - Name of person/firm who drew the plan
 - Locations and dimensions of property lines, rights-of-way, easements, setbacks, off-street parking, proposed landscaping, existing and proposed structures, and location of any wetlands or watercourses
- ☑ A list of all abutting property owners and their mailing addresses. This information may be obtained from the Town Assessor's Office in person or by using their online resources. www.salisburyct.us/assessor

Variance Requests - statement of exceptional difficulty or unusual hardship because of peculiar characteristic of the parcel of land. (Not financial, self-created, or created by predecessor in title. Economic hardship, financial loss, or disappointment in the use of a property are not a proper basis for granting a variance)

Appeals of a decision of the Zoning Enforcement Officer - summary of facts, and copies of all relevant documents and plans relating to the decision being appealed.

If the applicant requesting a variance or location approval is not the owner, the owner should co-sign the application. Alternatively, the applicant should provide a letter from the owner stating that the owner has reviewed the application and consents to the filing of this application. The owner's signature on the letter must be notarized.

I, the undersigned applicant, understand that decisions of the Board are based on information, submitted by me and that falsification by misrepresentation, omission, or failure to comply with the conditions of approval shall render this permit null and void. I further understand that it is my responsibility as the applicant to obtain other required approvals prior to the commencement of work or use.

Applicant's Signature: Alycia Zimmerman Date: 09/22/2022

Owner's Signature: [Signature] Date: 09/22/2022

I further authorize Town agents to enter the property during while the appeal is pending got the purpose of inspection with regard to this application.

Applicant's Signature: Alycia Zimmerman Date: 09/22/2022

Owner's Signature: [Signature] Date: 09/22/2022

Please indicate below who should be contacted to coordinate inspections and the best method of contact:

Name and Title of Contact: Rick McCue

Preferred Method of Contact: 860-435-9710

Note: Decision of Notice will be filed with the Town Clerk after approval/denial and APPLICANT is responsible for cost of filing fees. Fees are \$10 for first page and \$5 each additional page.

FOR OFFICE USE ONLY

\$360 Fee Payment Method: _____ Date: _____

Decision Date: _____ Approved Denied

Conditions or Comments: _____

Receipt #: 00008001

Town of Salisbury

Date Paid: 9/23/2022

Payer: Law office of William V. Grickis

Payer Address: PO Box 191 Lakeville

Notes:

Payment Type	Amount	Ref #
Check	\$360.00	6788

Amount Paid: \$360.00

Fee Type	Amount
ZBA	\$300.00
P&Z State Surcharge	\$60.00

Schedule A

All that certain piece or parcel of land, with all appurtenances thereto belonging, situated on the southwesterly side of the highway leading from Lakeville to Lime Rock, known as Wells Hill Road, in the Town of Salisbury, County of Litchfield and State of Connecticut, bounded and described as follows:

Beginning at an iron pipe in the southwesterly line of Wells Hill Road, so-called, which iron pipe marks the northerly corner of land now or formerly of Helen L. Moorehead; thence along land now or formerly of said Moorehead, S 33° 04' W 510.0 feet to an iron pipe in the northerly line of land now or formerly of Hobart O. Hobby; thence along line of land now or formerly of said Hobby, N 42° 27' W 161.0 feet to a monument in the easterly line of Woodland Drive, so-called; thence along the Easterly line of said Woodland Drive; N 37° 24' E 483.8 feet to a monument in the southerly line of the above mentioned Wells Hill Road; thence along the southerly line of said Wells Hill Road, in an easterly direction, to the iron pipe being the point and place of beginning.

Said premises are conveyed subject to any and all provisions of any ordinance, municipal regulation, or public or private law, including subdivision regulations and zoning ordinances as adopted by the Planning and Zoning Commission of the Town of Salisbury.

1. Such state of facts as an accurate survey and/or personal inspection of the premises would disclose.

2. Any and all limitations of use and/or improvement imposed by governmental authority or applicable public or private law.

3. Taxes of the Town of Salisbury on the Grand List 2019 and thereafter, becoming due and payable after the date hereof, which the Grantees assume and agree to pay as part of the consideration herefor.

Being the same premises conveyed to David M. Soper from Joseph L. and Lucy L. Soper by Quit Claim deed dated May 23, 2019 and recorded May 31, 2019 in Volume 256 at page 863 of the Salisbury Land Records.

September 22, 2022
DELIVERY
Zoning Board of Appeals
27 Main Street
Salisbury, CT 06068
Attn: Abby Conroy,
Land Use Administrator

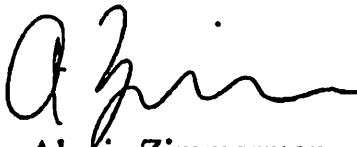
BY HAND

Re: Setback Variance Application – 16 Woodland Drive

Dear Ms. Conroy:

We are the owners of 16 Woodland Drive. Please consider this letter as our authorization for Attorney William V. Grickis, 12 Porter Street, Lakeville, CT 06039, to represent us before the Zoning Board of Appeals in connection with the above captioned Application. Please note that it is our intention to participate with Attorney Grickis via *Zoom* in the public hearing concerning this Application.

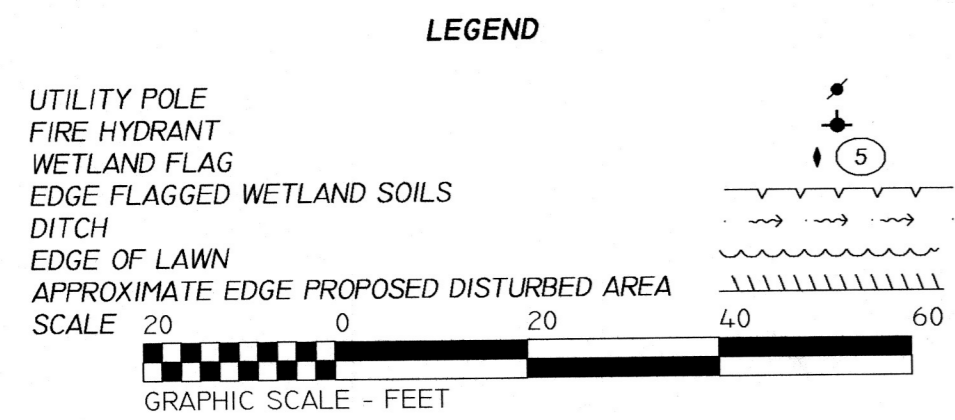
Very truly yours,



Alycia Zimmerman



Aaron Zimmerman

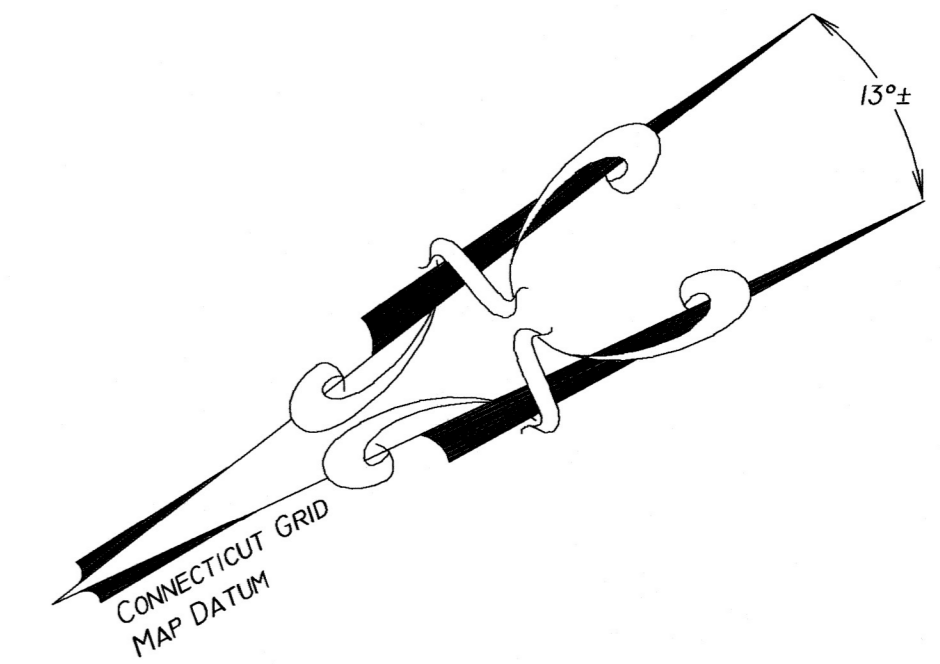


NOTES

- OWNERS OF RECORD #16 WOODLAND DRIVE: AARON ZIMMERMAN AND ALCYIA ZIMMERMAN. SALISBURY LAND RECORDS VOL. 264, PG. 61.
- OWNER OF RECORD #24 WOODLAND DRIVE: 24 WOODLAND LLC. SALISBURY LAND RECORDS VOL. 255, PG. 208.
- THE LAND SURVEYOR HAS PREPARED THIS MAP TO SHOW THE FOLLOWING:
 - A PROPOSED BOUNDARY LINE ADJUSTMENT OF A PORTION OF LAND OF 24 WOODLAND LLC (0.040± ACRES / 1,761 S.F.) AND MAKES NO REPRESENTATIONS OR CERTIFICATIONS AS TO WHETHER THE PROPOSED AREA CONFORMS IN ANY RESPECT TO THE PLANNING AND ZONING REGULATIONS AND/OR SUBDIVISION REGULATIONS OF THE TOWN OF SALISBURY OR THE REGULATIONS AND THE REQUIREMENTS OF THE CONNECTICUT HEALTH CODE AS ENFORCED BY THE SANITARIAN FOR THE TOWN OF SALISBURY.
 - PROPOSED AREA (0.040± ACRES / 1,761 S.F.) (NOT AN APPROVED BUILDING LOT) BEING A PORTION OF LANDS OF 24 WOODLAND LLC. (SALISBURY LAND RECORDS VOL. 255 PG. 208), TO BE MERGED WITH LANDS OF AARON ZIMMERMAN AND ALCYIA ZIMMERMAN, (SALISBURY LAND RECORDS VOL. 264 PG. 61).
 - LOCATION OF PROPOSED IMPROVEMENTS BASED ON INFORMATION PROVIDED BY RICK MCCUE AND ALLIED ENGINEERING.
 - LOCATION OF APPROXIMATE PROPOSED DISTURBED AREA (9,028± S.F.)
- REFER TO MAP TITLED "MAP SHOWING PORTION OF PROPERTY OF B. FRANKLIN VAILL IN TOWN OF SALISBURY, CONN. TO BE CONVEYED TO HELEN L. MOOREHEAD, SCALE 1" = 100 FEET, AREA = 1.55±/- ACRES, DEC. 4, 1953". BY HOWARD KNICKERBOCKER, LAND SURVEYOR. ON FILE WITH SALISBURY TOWN CLERK AS MAP #622.
- REFER TO MAP TITLED "MAP SHOWING PORTION OF PROPERTY OF B. FRANKLIN VAILL IN TOWN OF SALISBURY, CONN. TO BE CONVEYED TO EDITH W. ERICKSON, SCALE 1" = 100 FEET, AREA = 3.41±/- ACRES". BY H. KNICKERBOCKER, LAND SURVEYOR. ON FILE WITH SALISBURY TOWN CLERK AS MAP #623.
- REFER TO MAP TITLED "MAP PREPARED FOR MYRON & CAROLYN NEUGEBOREN, #199 WELLS HILL ROAD, SALISBURY, CONNECTICUT, SCALE 1" = 40', OCTOBER 2, 2000". BY MATHIAS M. KIEFER, R.L.S. ON FILE WITH SALISBURY TOWN CLERK AS MAP #2291.
- REFER TO MAP TITLED "PLOT PLAN SECTION TWO PROPERTY OF B. FRANKLIN VAILL, IN TOWN OF SALISBURY, CONN., SCALE 1" = 100 FEET, AREA = 3.362±/- ACRES, FEB. 19, 1980". ON FILE WITH SALISBURY TOWN CLERK AS MAP #897.

NOTES

- REFER TO MAP TITLED "MAP SHOWING PORTION OF PROPERTY OF B. FRANKLIN VAILL IN TOWN OF SALISBURY, CONN. TO BE CONVEYED TO LOUIS DEBARBIERI, SCALE 1" = 100 FEET, AREA 1.00±/- ACRES, JULY 31, 1959". BY H. KNICKERBOCKER, LAND SURVEYOR. ON FILE WITH SALISBURY TOWN CLERK AS MAP #832.
- REFER TO MAP TITLED "MAP SHOWING PORTION OF PROPERTY OF B. FRANKLIN VAILL IN TOWN OF SALISBURY, CONN. TO BE CONVEYED TO HELEN L. MOOREHEAD, SCALE 1" = 100 FEET, AREA = 5.03±/- ACRES, NOV. 14, 1945". BY H. KNICKERBOCKER, LAND SURVEYOR. ON FILE WITH SALISBURY TOWN CLERK AS MAP #308.
- REFER TO MAP TITLED "PROPOSED IMPROVEMENT LOCATION SURVEY MAP PREPARED FOR AARON ZIMMERMAN, ALCYIA ZIMMERMAN, #16 WOODLAND DRIVE, LAKEVILLE, SALISBURY, CONNECTICUT, SCALE 1" = 20', AUGUST 16, 2021, TOTAL AREA = 1.574± ACRES" BY MATHIAS M. KIEFER. (NOT ON FILE)
- PROPERTY IS LOCATED WITHIN THE SALISBURY PLANNING AND ZONING "RR-1, RURAL RESIDENTIAL ZONE". MINIMUM LOT AREA (EXCLUDING AREA OF AN ACCESS ROW) = 80,000 SQ. FT.; MINIMUM BUILDABLE AREA = 20,000 SQ.F.T.; MINIMUM STREET FRONTAGE = 25 FEET; MINIMUM YARD SETBACKS: FRONT = 40 FEET, SIDES AND REAR = 30 FEET. MINIMUM SQUARE (THE LENGTH OF ONE SIDE SHALL FIT ON THE FRONT YARD SETBACK LINE) = 150 FEET; MAXIMUM BUILDING COVERAGE = 10%.
- HIGHWAY LINES AS SHOWN ARE APPROXIMATE AND ARE SUBJECT TO THE ESTABLISHMENT OF THE HIGHWAY LAYOUT BY THE BOARD OF SELECTMEN OF THE TOWN OF SALISBURY.
- WETLAND DELINEATION PERFORMED BY JAY FAIN MS, PSS, CPESC, CERF ON JULY 16, 2021 AND LOCATED ON THE PROPERTY BY LAMB KIEFER LAND SURVEYORS.
- THERE ARE UNDERGROUND UTILITIES AND DRAINAGE STRUCTURES ON THE PROPERTY. EXACT LOCATION OF THESE UTILITIES AND DRAINAGE STRUCTURES IS UNKNOWN. UNDERGROUND UTILITY, DRAINAGE STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY RESPECTIVE COMPANIES OR GOVERNMENTAL AGENCIES FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONAL, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO LAMB KIEFER LAND SURVEYORS, L.L.C. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.



LEDGEWOOD ROAD

WOODLAND DRIVE

TO ROUTE 41

WELLS HILL ROAD

TO ROUTE 112

PROPOSED AREA
0.040± ACRES
1,761 S.F.
(SEE NOTES #2,#3)

OTHER LANDS OF
24 WOODLAND LLC
VOL. 255 PG. 208

1.574± ACRES
68,545 S.F.

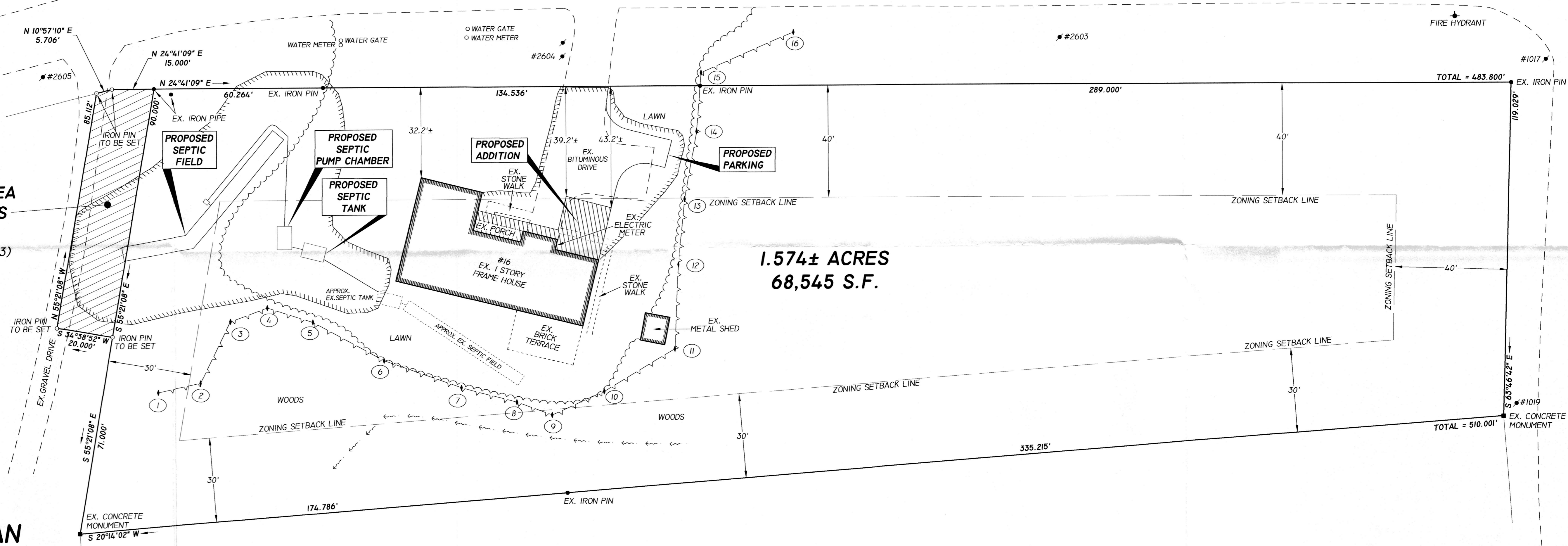
MAP PREPARED FOR
AARON ZIMMERMAN
ALCYIA ZIMMERMAN
#16 WOODLAND DRIVE
"LAKEVILLE"
SALISBURY, CONNECTICUT
SCALE 1" = 20' AUGUST 8, 2022
TOTAL AREA = 1.614± ACRES

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THRU 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES-"MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., ON SEPTEMBER 26, 1996. IT IS A PROPERTY BOUNDARY SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Mathias M. Kiefer
MATHIAS M. KIEFER, L.L.S.#16101
FROM THE OFFICE OF:
LAMB KIEFER LAND SURVEYORS
(SALISBURY, CONNECTICUT)
MAP NOT VALID WITHOUT A LIVE SIGNATURE
AND EMBOSSED SEAL

MICHAEL J. ZIMMERMAN
ELLEN S. SHAFER
VOL. 147 PG. 120



SITE INFORMATION

TAX MAP DESIGNATION:
CITY OF SALISBURY
MAP-35, LOT-6
ZONED: RR-1
LOT AREA: 1.574 +/- ACRES

PROPERTY OWNER:
AARON ZIMMERMAN
ALYCIA ZIMMERMAN
16 WOODLAND DRIVE
LAKEVILLE, CT, 06039

APPLICANT:
RICHARD E. McCUE, Inc.
58 WALTON ST.
LAKEVILLE, CT, 06039

SOIL TEST DATA

DATE OF TESTING: 12-15-2021

DP #1 0"-11" TOPSOIL
11"-30" YELLOW BROWN MEDIUM TO FINE SILTY SANDY LOAM
30"-63" OLIVE BROWN SATURATED FINE SILTY SANDY LOAM
MOTTLING @ 30"
ROOTS TO 34"
WATER @ 33"
LEDGE @ 63"

DP #2 0"-10" TOPSOIL
10"-30" YELLOW BROWN FINE SILTY SANDY LOAM
30"-50" OLIVE BROWN FINE SILTY SANDY LOAM
50"-58" DECOMPOSING LIME STONE
MOTTLING @ 30"
ROOTS TO 30"
WATER @ 55"
LEDGE @ 58"

DP #3 WATERLINE @ 45"
MOTTLING @ 24"
WATER @ 31"
NO LEDGE

PT #1 DEPTH: 18"
PRESOAKED @ 9:35 A.M.
1:27 6 3/8"
1:37 7 5/8"
1:47 8 3/8"
1:57 9 1/8"
2:07 9 5/8"
2:17 10"
2:27 10 1/2"
PERC. RATE: 1"/22.22 MIN.

DATE OF TESTING: 2/22/22

PT #2 DEPTH 18"
MOIST
1:25 6 1/2"
1:35 9 3/8"
1:45 10 1/2"
1:55 11 3/8"
2:05 12"
2:15 DRY
PERC. RATE: 1"/16 MIN.

PT #3 DEPTH 18"
MOIST
1:26 5"
1:36 5 3/8"
1:46 5 3/4"
1:56 6 1/8"
2:06 6 3/8"
2:16 6 5/8"
2:26 6 7/8"
PERC. RATE: 1"/40 MIN.

SOIL TEST DATA

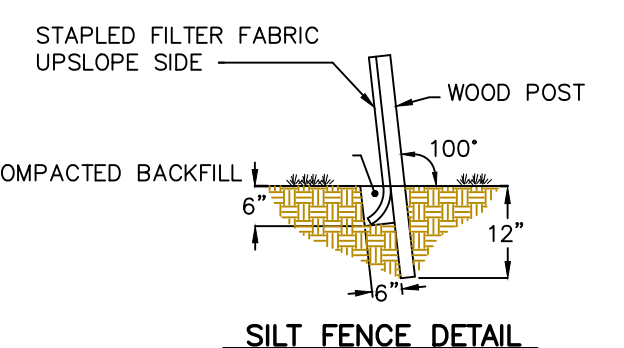
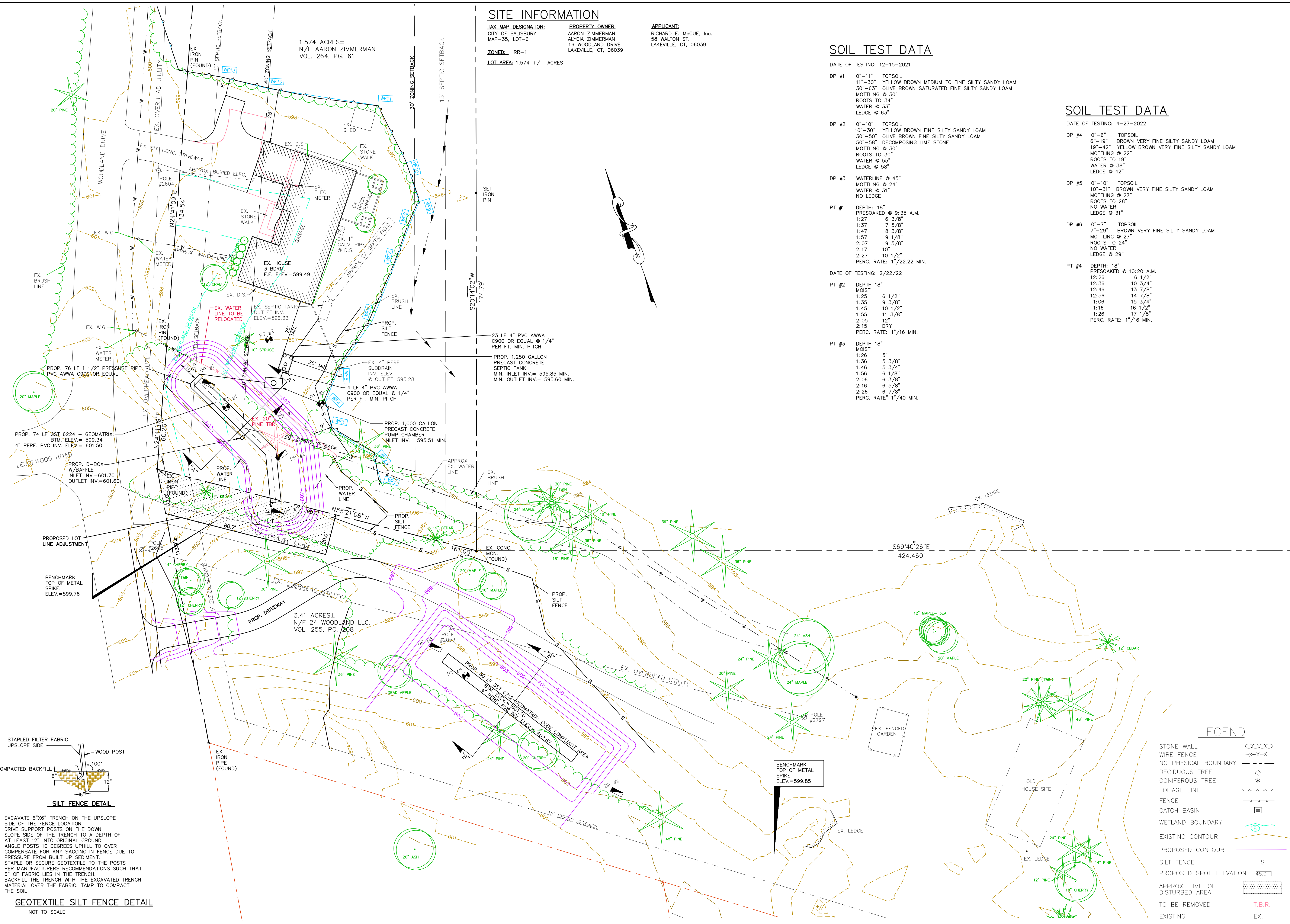
DATE OF TESTING: 4-27-2022

DP #4 0"-6" TOPSOIL
6"-19" BROWN VERY FINE SILTY SANDY LOAM
19"-42" YELLOW BROWN VERY FINE SILTY SANDY LOAM
MOTTLING @ 22"
ROOTS TO 19"
WATER @ 38"
LEDGE @ 42"

DP #5 0"-10" TOPSOIL
10"-31" BROWN VERY FINE SILTY SANDY LOAM
MOTTLING @ 27"
ROOTS TO 28"
NO WATER
LEDGE @ 31"

DP #6 0"-7" TOPSOIL
7"-29" BROWN VERY FINE SILTY SANDY LOAM
MOTTLING @ 27"
ROOTS TO 24"
NO WATER
LEDGE @ 29"

PT #4 DEPTH: 18"
PRESOAKED @ 10:20 A.M.
12:26 6 1/2"
12:36 10 3/4"
12:46 13 7/8"
12:56 14 7/8"
1:06 15 3/4"
1:16 16 1/2"
1:26 17 1/8"
PERC. RATE: 1"/16 MIN.



- EXCAVATE 6"x6" TRENCH ON THE UPSLOPE SIDE OF THE FENCE LOCATION.
- DRIVE SUPPORT POSTS ON THE DOWN SLOPE SIDE OF THE TRENCH TO A DEPTH OF AT LEAST 12" INTO ORIGINAL GROUND.
- ANGLE POSTS 10 DEGREES UPHILL TO OVER COMPENSATE FOR ANY SAGGING IN FENCE DUE TO PRESSURE FROM BUILT UP SEDIMENT.
- STAPLE OR SECURE GEOTEXTILE TO THE POSTS PER MANUFACTURERS RECOMMENDATIONS SUCH THAT 6" OF FABRIC LIES IN THE TRENCH.
- BACKFILL THE TRENCH WITH THE EXCAVATED TRENCH MATERIAL OVER THE FABRIC. TAMP TO COMPACT THE SOIL.

GEOTEXTILE SILT FENCE DETAIL
NOT TO SCALE

LEGEND

- STONE WALL
- WIRE FENCE
- NO PHYSICAL BOUNDARY
- DECIDUOUS TREE
- CONIFEROUS TREE
- FOLIAGE LINE
- FENCE
- CATCH BASIN
- WETLAND BOUNDARY
- EXISTING CONTOUR
- PROPOSED CONTOUR
- SILT FENCE
- PROPOSED SPOT ELEVATION
- APPROX. LIMIT OF DISTURBED AREA
- TO BE REMOVED
- EXISTING

AEEA
Allied Engineering Assoc. Inc.
P.O. Box 95 Main St. 3rd Fl. East
Lakeville, CT 06039
860-824-1400 860-824-1401 fax
allied-engineering@aeea.net

- REVISIONS - DESCRIPTION - DATE - INITIAL
- REV. PER T&H COMMENTS - 2/23/22 - GHJ
 - REV. PER T&H COMMENTS - 5/3/2022 - GHJ
 - REV. GRADING PER T&H - 6/07/22 - GHJ
 - REV. PROPERTY LINE ADJUSTMENT - 7/01/22 - GHJ
 - REV. PER STAFF COMMENTS - 8/26/22 - GHJ

PROPOSED SANITARY SEWAGE DISPOSAL SYSTEM B100a DESIGN PLAN
PREPARED FOR:
AARON & ALYCIA ZIMMERMAN
16 WOODLAND DRIVE
LAKEVILLE, CT.

SCALE: 1"=20'
FILE NAME: 973-SITE-7
DATE: 1/3/2022
ISSUED FOR: PERMITTING
PROJECT NO: 973
DRAWING NO: C-1

GENERAL NOTES

- PROPERTY LINES, DIMENSIONS AND MISCELLANEOUS INFORMATION TAKEN FROM:
 - "MAP SHOWING PROPERTY OF, AARON & ALCYIA ZIMMERMAN, 16 WOODLAND DRIVE, SALISBURY, CONNECTICUT, SCALE: 1"=20', AUGUST 16, 2021" BY MATHIAS M. KIEFER, L.L.S.#16101.
 - "MAP SHOWING PROPERTY OF, B. FRANKLIN VAILL, TOWN OF SALISBURY, CONNECTICUT, SCALE: 1"=100', DECEMBER 4, 1953" BY H. KNICKERBOCKER, LAND SURVEYOR.
- TOPOGRAPHY TAKEN BY FIELD SURVEY BY THIS OFFICE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION. POTENTIAL PROBLEMS OR CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE CONSTRUCTION STARTS. THIS DESIGN IS SCHEMATIC, ADJUSTMENTS TO LOCATIONS, DIMENSIONS AND ELEVATIONS OF SEPTIC TANK AND LEACHING SYSTEM MAY BE NECESSARY TO CONFORM TO FIELD CONDITIONS. CHANGES IN THE DESIGN SHALL BE APPROVED BY THE LOCAL HEALTH DEPARTMENT, THE ENGINEER OR BOTH. STATE LAW REQUIRES: CALL BEFORE YOU DIG 1-800-922-4455 TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES.
- MATERIALS USED FOR THE JOB AND CONSTRUCTION PRACTICES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL HEALTH DEPARTMENT AND/OR THE CONNECTICUT STATE DEPARTMENT OF HEALTH PUBLIC HEALTH CODE SECTION 19-13-B103 A-F.
- SEPTIC TANK SHALL BE WATER TIGHT 1,250 GALLON PRECAST CONCRETE, 2 COMPARTMENT TANK OR LARGER. TANK SHALL BE PLACED LEVEL. TANK COVERS SHALL BE PLACARDED WITH NOTIFICATION THAT "ENTRANCE INTO THE TANK COULD BE FATAL". TANK COVERS SHALL BE EXTENDED TO GRADE WITH SUITABLE RISERS AS REQUIRED. PROVIDE H-20 LOADING IF USED UNDER DRIVEWAY OR PARKING AREA. TANK SHALL HAVE AN APPROVED NON-BYPASS EFFLUENT FILTER AT THE OUTLET. THE SEPTIC TANK SHALL BE OF THE SIZE INDICATED AND SHALL BE PRECAST REINFORCED CONCRETE AS MANUFACTURED BY A. RICHARD SEPTIC SYSTEMS, INC., TORRINGTON, CONNECTICUT OR APPROVED EQUAL. IF A GARBAGE GRINDER IS INSTALLED IN THE HOUSE THE CAPACITY OF THE SEPTIC TANK SHALL BE INCREASED BY 250 GALLONS. IF LARGE TUB IS INSTALLED IN THE HOUSE, THE CAPACITY OF THE SEPTIC TANK SHALL BE INCREASED BY 250 GALLONS FOR A 100-200 GALLON TUB OR 500 GALLONS FOR A TUB OVER 200 GALLONS.
- SEPTIC PUMP CHAMBER SHALL BE WATER TIGHT 1,000 GALLON PRECAST CONCRETE. PUMP CHAMBER SHALL BE PLACED LEVEL. TANK COVERS SHALL BE PLACARDED WITH NOTIFICATION THAT "ENTRANCE INTO THE TANK COULD BE FATAL". TANK COVERS SHALL BE EXTENDED TO GRADE WITH SUITABLE WATER TIGHT RISERS AS REQUIRED. PROVIDE H-20 LOADING IF USED UNDER DRIVEWAY OR PARKING AREA. THE PUMP CHAMBER SHALL BE OF THE SIZE INDICATED AND SHALL BE PRECAST REINFORCED CONCRETE AS MANUFACTURED BY A. RICHARD SEPTIC SYSTEMS, INC., TORRINGTON, CT. OR APPROVED EQUAL. PUMP CHAMBERS IN HIGH GROUND WATER AREAS SHALL BE TESTED FOR LEAKAGE TO INSURE WATER TIGHTNESS.
- PROVIDE 1'-3" MINIMUM COVER OVER SEPTIC TANK. TANKS INSTALLED IN DRIVE OR PARKING AREAS SHALL BE DESIGNED FOR H-20 LOADING.
- ALL PIPE USED SHALL CONFORM TO STATE OF CONNECTICUT, DEPARTMENT OF HEALTH STANDARDS AND SHALL HAVE 1'-0" MINIMUM COVER OVER TOP OF PIPE.
- THE PRECAST CONCRETE DISTRIBUTION BOX SHALL BE SET LEVEL TO PROVIDE EVEN FLOW TO BOTH SIDES. BOX SHALL BE SET ON 6" MIN. DEEP PAD OF COMPACTED GRAVEL OR 1" CRUSHED STONE.
- THE SANITARY SEWAGE DISPOSAL SYSTEM CONSISTS OF 1 ROW OF GST 6224-GEOMATRIX FOR A TOTAL LENGTH OF 74 LF. 74 LF X 18.1 SF/LF= 1,339.4 SF. EFFECTIVE AREA PROVIDED. 4 BEDROOM HOUSE REQUIRES 875 SF MIN LEACHING AREA.
- THE BACKFILL USED IN ALL SANITARY SEWAGE DISPOSAL SYSTEM TRENCHES SHALL BE AS SPECIFIED ON PLAN OR OTHER ACCEPTABLE MATERIAL MEETING THE SPECIFICATIONS OF THE STATE OF CONNECTICUT, DEPARTMENT OF HEALTH AND/OR LOCAL HEALTH DEPARTMENT.
- SURFACE WATER SHALL BE DIVERTED FROM THE SANITARY SEWAGE DISPOSAL SYSTEM AREA BY MEANS OF GRADING.
- THE DEVELOPER OR OWNER OR BOTH SHALL BE RESPONSIBLE FOR ALL RIGHTS OF WAYS AND RIGHTS TO DRAIN.
- NO SUBSURFACE INVESTIGATIONS WERE MADE OTHER THAN THOSE INDICATED. SUBSURFACE PROBLEMS ARE THE RESPONSIBILITY OF THE OWNER. THE EXACT LOCATIONS OF ANY UNDERGROUND UTILITIES ARE UNKNOWN AND ARE THE RESPONSIBILITY OF THE OWNER SHOULD ANY BE ENCOUNTERED DURING THE INSTALLATION OF THE SANITARY SYSTEM.
- THE SEPTIC SYSTEM IS FOR SANITARY SEWAGE DISPOSAL ONLY. ALL STORM WATER, COOLING WATER, WASTING SOLVENT RESIDUES, SUBSOIL DRAINAGE AND OBJECTIONABLE INDUSTRIAL WASTES ARE TO BE EXCLUDED FROM THE SYSTEM.
- THE OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- NO AIR CONDITIONING, REFRIGERATION, WATER SOFTENER RESIDUES, OR DRAINAGE (SURFACE OR SUBSURFACE) MAY BE CONNECTED TO THE SANITARY SEWAGE DISPOSAL SYSTEM.
- HOUSE FOOTING DRAINS SHALL BE KEPT 25' MIN. FROM ANY PART OF THE SANITARY SEWAGE DISPOSAL SYSTEM.
- REMOVE THE TOPSOIL IN THE AREA TO RECEIVE FILL. CARE SHALL BE TAKEN TO NOT OVERCOMPACT THE SOIL WITH HEAVY EQUIPMENT. KEEP HEAVY EQUIPMENT OFF OF THE EXPOSED SURFACE. EQUIPMENT SHALL NOT BE USED ON THE EXPOSED SURFACE AREA DURING MUDDY CONDITIONS.
- THERE ARE NO KNOWN WELLS WITHIN 75' OF THE PROPOSED SANITARY SEWAGE DISPOSAL SYSTEM.
- NO SUBSURFACE SEWAGE DISPOSAL SYSTEM SHALL BE CONSTRUCTED, ALTERED, REPAIRED OR EXTENDED WITHOUT AN APPROVAL TO CONSTRUCT ISSUED IN ACCORDANCE WITH THE CURRENT PUBLIC HEALTH CODE. NO DISCHARGE SHALL BE INITIATED TO A SUBSURFACE SEWAGE DISPOSAL SYSTEM WITHOUT A DISCHARGE PERMIT ISSUED IN ACCORDANCE WITH THE CURRENT PUBLIC HEALTH CODE. SUCH PERMITS AND APPROVALS SHALL BE ISSUED AND ADMINISTERED BY THE LOCAL DIRECTOR OF HEALTH.
- WHILE THE SEWAGE DISPOSAL SYSTEM IS UNDER CONSTRUCTION, THE LOCAL DIRECTOR OF HEALTH MAY REQUIRE THAT THE CONSTRUCTION BE SUPERVISED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF CONNECTICUT, IF IN THE OPINION OF THE LOCAL DIRECTOR OF HEALTH IT IS NECESSARY TO INSURE CONFORMANCE TO THE PLANS APPROVED OR BECAUSE OF THE DIFFICULTIES LIKELY TO BE ENCOUNTERED. THE ENGINEER SHALL MAKE A RECORD DRAWING OF THE SEWAGE DISPOSAL SYSTEM, AS INSTALLED, WHICH HE SHALL SUBMIT TO THE LOCAL DIRECTOR OF HEALTH PRIOR TO THE ISSUANCE OF A DISCHARGE PERMIT.
- THERE ARE NO SOURCES OF CONTAMINATION WITHIN 75 FT. OF PROPOSED WELL SITE.
- THE SYSTEM MUST BE INSTALLED WHEN SOIL MOISTURE IS LOW.
- CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING ADJACENT TO TREES.
- "AN 'AS-BUILT' PLAN MUST BE PREPARED AND SUBMITTED TO THE LOCAL HEALTH DEPARTMENT. WITHIN 30 DAYS OF THE INSPECTION BY THE ENGINEER/SURVEYOR."
- "FOR LEACHING SYSTEMS CONSTRUCTED WITH THE BOTTOMS IN FILL, A MINIMUM OF TWO PERCOLATION TESTS MUST BE CONDUCTED IN THE FILL MATERIAL BEFORE THE LEACHING SYSTEM CAN BE INSTALLED."
- "NO BALLAST IS REQUIRED FOR THE SEPTIC TANK OR PUMP CHAMBER PROVIDED THAT A MINIMUM OF 1.25' OF COVER IS MAINTAINED."
- "AN IN-PLACE SIEVE TEST OF THE 'SELECT FILL' MATERIAL ON SITE TO BE CONDUCTED AS PART OF THE FILL APPROVAL PROCESS. THE TEST RESULTS FOR A COMPOSITE SAMPLE COLLECTED BY THE ENGINEER OR TESTING LAB MUST BE PROVIDED TO THE LOCAL HEALTH DEPARTMENT PRIOR TO ISSUANCE OF THE PERMIT TO DISCHARGE."

SITE INFORMATION

TAX MAP DESIGNATION: CITY OF SALISBURY MAP-35, LOT-6
PROPERTY OWNER: AARON ZIMMERMAN ALCYIA ZIMMERMAN 16 WOODLAND DRIVE LAKEVILLE, CT, 06039
APPLICANT: RICHARD E. MACUE, INC. 58 WALTON ST. LAKEVILLE, CT, 06039
ZONED: RR-1
LOT AREA: 1.574 +/- ACRES

SOIL TEST DATA

DATE OF TESTING: 12-15-2021

DP #1 0"-11" TOPSOIL
 11"-30" YELLOW BROWN MEDIUM TO FINE SILTY SANDY LOAM
 30"-63" OLIVE BROWN SATURATED FINE SILTY SANDY LOAM
 MOTTLING @ 30"
 ROOTS TO 34"
 WATER @ 33"
 LEDGE @ 63"

DP #2 0"-10" TOPSOIL
 10"-30" YELLOW BROWN FINE SILTY SANDY LOAM
 30"-50" OLIVE BROWN FINE SILTY SANDY LOAM
 50"-58" DECOMPOSING LIME STONE
 MOTTLING @ 30"
 ROOTS TO 30"
 WATER @ 55"
 LEDGE @ 58"

DP #3 WATERLINE @ 45"
 MOTTLING @ 24"
 WATER @ 31"
 NO LEDGE

PT #1 DEPTH: 18" PRESOAKED @ 9:35 A.M.
 1:27 6 3/8"
 1:37 7 5/8"
 1:47 8 3/8"
 1:57 9 1/8"
 2:07 9 5/8"
 2:17 10"
 2:27 10 1/2"
 PERC. RATE: 1"/22.22 MIN.

DATE OF TESTING: 2/22/22

PT #2 DEPTH 18" MOIST
 1:25 6 1/2"
 1:35 9 3/8"
 1:45 10 1/2"
 1:55 11 3/8"
 2:05 12"
 2:15 DRY
 PERC. RATE: 1"/16 MIN.

PT #3 DEPTH 18" MOIST
 1:26 5"
 1:36 5 3/8"
 1:46 5 3/4"
 1:56 6 1/8"
 2:06 6 3/8"
 2:16 6 5/8"
 2:26 6 7/8"
 PERC. RATE: 1"/40 MIN.

SOIL TEST DATA

DATE OF TESTING: 4-27-2022

DP #4 0"-6" TOPSOIL
 6"-19" BROWN VERY FINE SILTY SANDY LOAM
 19"-42" YELLOW BROWN VERY FINE SILTY SANDY LOAM
 MOTTLING @ 22"
 ROOTS TO 19"
 WATER @ 38"
 LEDGE @ 42"

DP #5 0"-10" TOPSOIL
 10"-31" BROWN VERY FINE SILTY SANDY LOAM
 MOTTLING @ 27"
 ROOTS TO 28"
 NO WATER
 LEDGE @ 31"

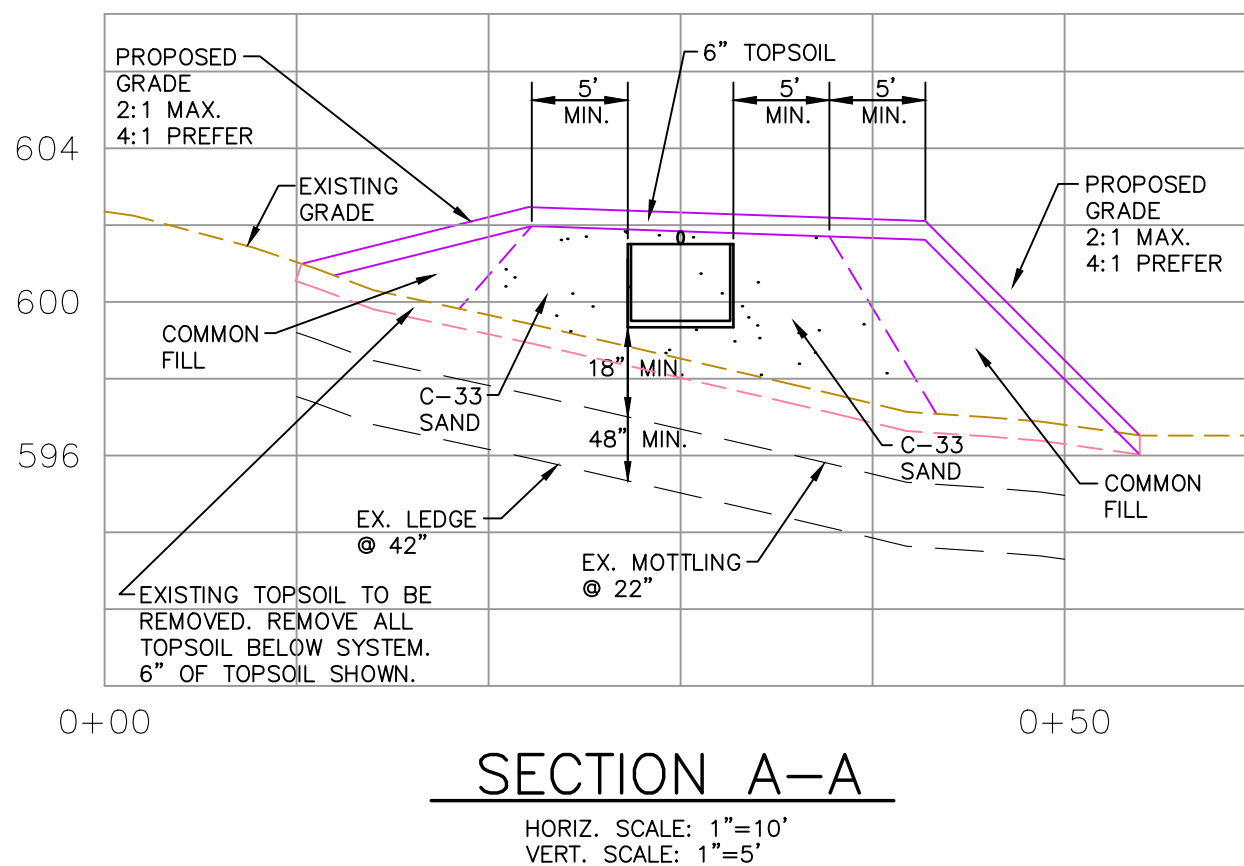
DP #6 0"-7" TOPSOIL
 7"-29" BROWN VERY FINE SILTY SANDY LOAM
 MOTTLING @ 27"
 ROOTS TO 24"
 NO WATER
 LEDGE @ 29"

PT #4 DEPTH: 18" PRESOAKED @ 10:20 A.M.
 12:26 6 1/2"
 12:36 10 3/4"
 12:46 13 7/8"
 12:56 14 7/8"
 1:06 15 3/4"
 1:16 16 1/2"
 1:26 17 1/8"
 PERC. RATE: 1"/16 MIN.

DESIGN DATA: PROP. ADDITION

- NUMBER OF BEDROOMS = 4 (525 G.P.D.)
- SEPTIC TANK SIZE REQUIRED AND PROVIDED = 1,250 GALLON
- PERCOLATION RATE USED FOR DESIGN = 1" PER 20.1 TO 30.0 MIN.
- EFFECTIVE LEACHING AREA REQUIRED = 875 SQ. FT.
- LINEAR FEET OF GST 6224 - GEOMATRIX REQUIRED. = 875 SQ. FT./18.1 SQ. FT. PER LIN. FT.= 48.34 LIN. FT.
- LINEAR FEET OF GST 6224 - GEOMATRIX PROVIDED. = 74 LIN. FT.
- MLSS = HF x FF x PF = 28 x 1.75 x 1.5 = 73.5 LIN. FT.
 SLOPE = 10.5%
 RESTRICTIVE LAYER = MOTTLING @ 22"

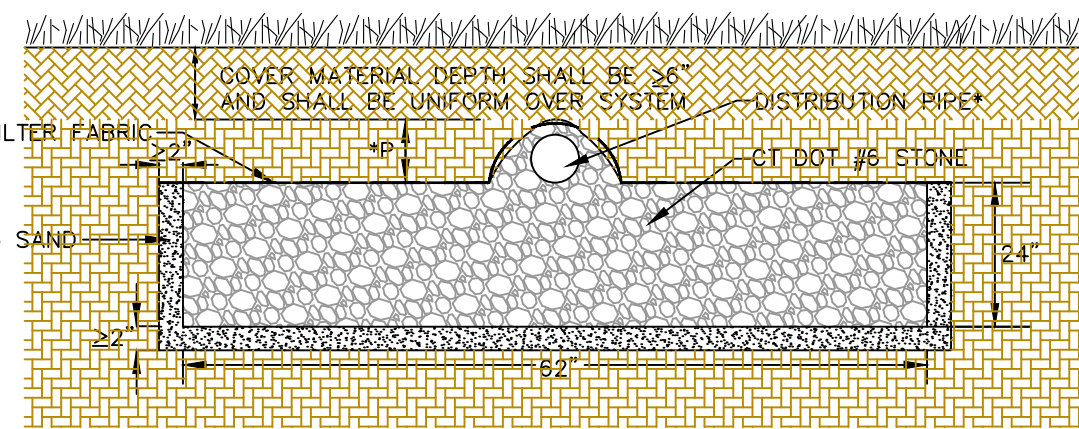
NOTE: IF A GARBAGE DISPOSAL OR HOT TUB IS TO BE INSTALLED IN THE PROPOSED HOUSE, IT IS RECOMMENDED THAT THE SEPTIC TANK SIZE BE INCREASED



SECTION A-A

HORIZ. SCALE: 1"=10'
 VERT. SCALE: 1"=5'

FINISHED GRADE SHALL BE PITCHED TO SHEET FLOW STORMWATER AWAY FROM SYSTEM



*3" MIN. I.D., ASTM D-3034, SDR 35 PIPE FOR GRAVITY APPLICATIONS
 0.75" MIN. I.D., ASTM D-2665, SCH 40 PVC PIPE FOR PRESSURE APPLICATIONS
 *P = 2" - 5.5"

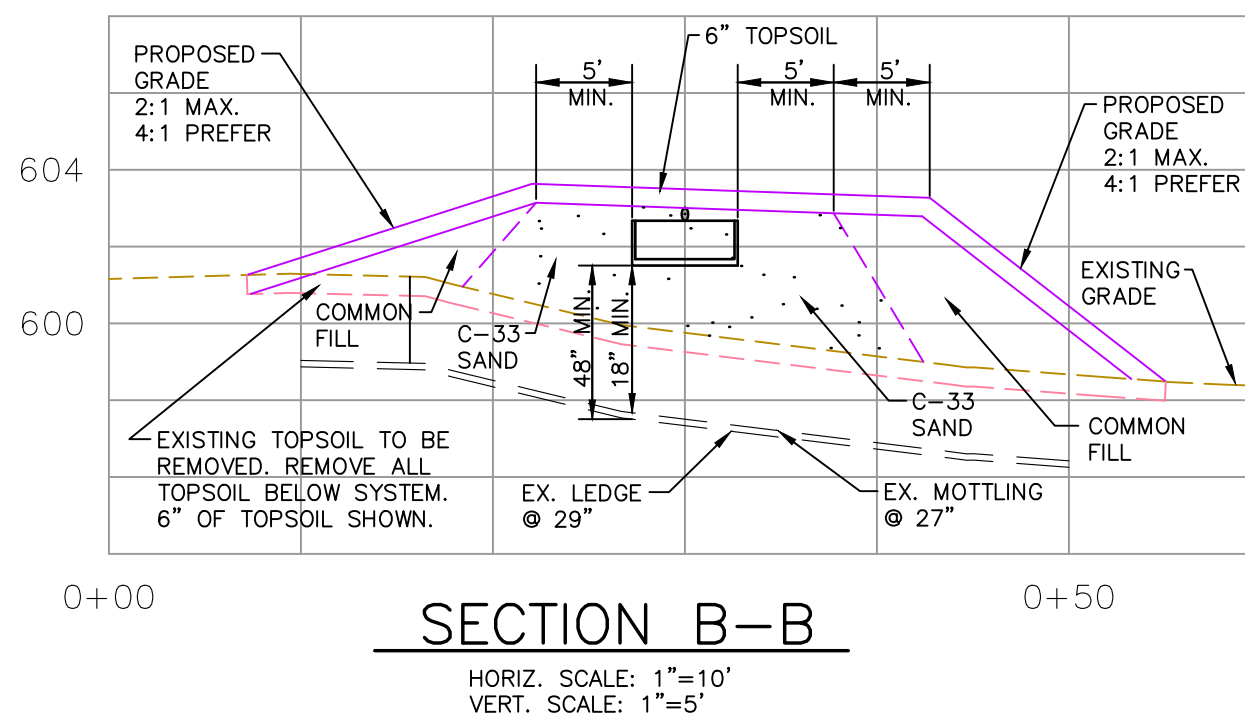
GEOMATRIX GST6224 LEACHING SYSTEM DETAIL

TYPICAL SECTION (NOT TO SCALE)

DESIGN DATA: B100A-LOT 7

- NUMBER OF BEDROOMS = 4 (525 G.P.D.)
- SEPTIC TANK SIZE REQUIRED AND PROVIDED = 1,250 GALLON
- PERCOLATION RATE USED FOR DESIGN = 1" PER 10.1 TO 20.0 MIN.
- EFFECTIVE LEACHING AREA REQUIRED = 787.5 SQ. FT.
- LINEAR FEET OF GST 6212 - GEOMATRIX REQUIRED. = 787.5 SQ. FT./10 SQ. FT. PER LIN. FT.= 78.75 LIN. FT.
- LINEAR FEET OF GST 6212 - GEOMATRIX PROVIDED. = 80 LIN. FT.
- MLSS = HF x FF x PF = 34 x 1.75 x 1.25 = 74.37 LIN. FT.
 SLOPE = 8%
 RESTRICTIVE LAYER = MOTTLING @ 27"

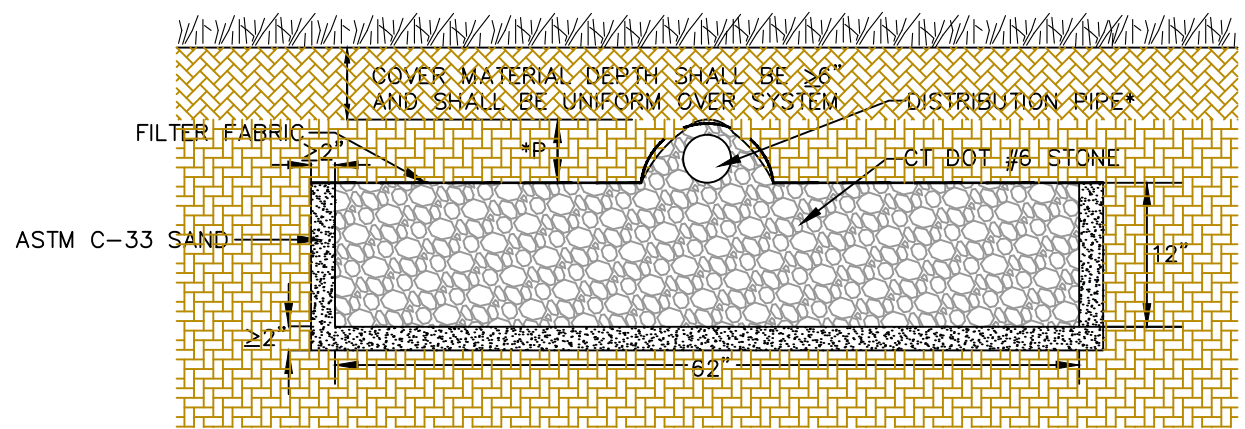
NOTE: IF A GARBAGE DISPOSAL OR HOT TUB IS TO BE INSTALLED IN THE PROPOSED HOUSE, IT IS RECOMMENDED THAT THE SEPTIC TANK SIZE BE INCREASED



SECTION B-B

HORIZ. SCALE: 1"=10'
 VERT. SCALE: 1"=5'

FINISHED GRADE SHALL BE PITCHED TO SHEET FLOW STORMWATER AWAY FROM SYSTEM



*3" MIN. I.D., ASTM D-3034, SDR 35 PIPE FOR GRAVITY APPLICATIONS
 0.75" MIN. I.D., ASTM D-2665, SCH 40 PVC PIPE FOR PRESSURE APPLICATIONS
 *P = 2" - 5.5"

GEOMATRIX GST6212 LEACHING SYSTEM DETAIL

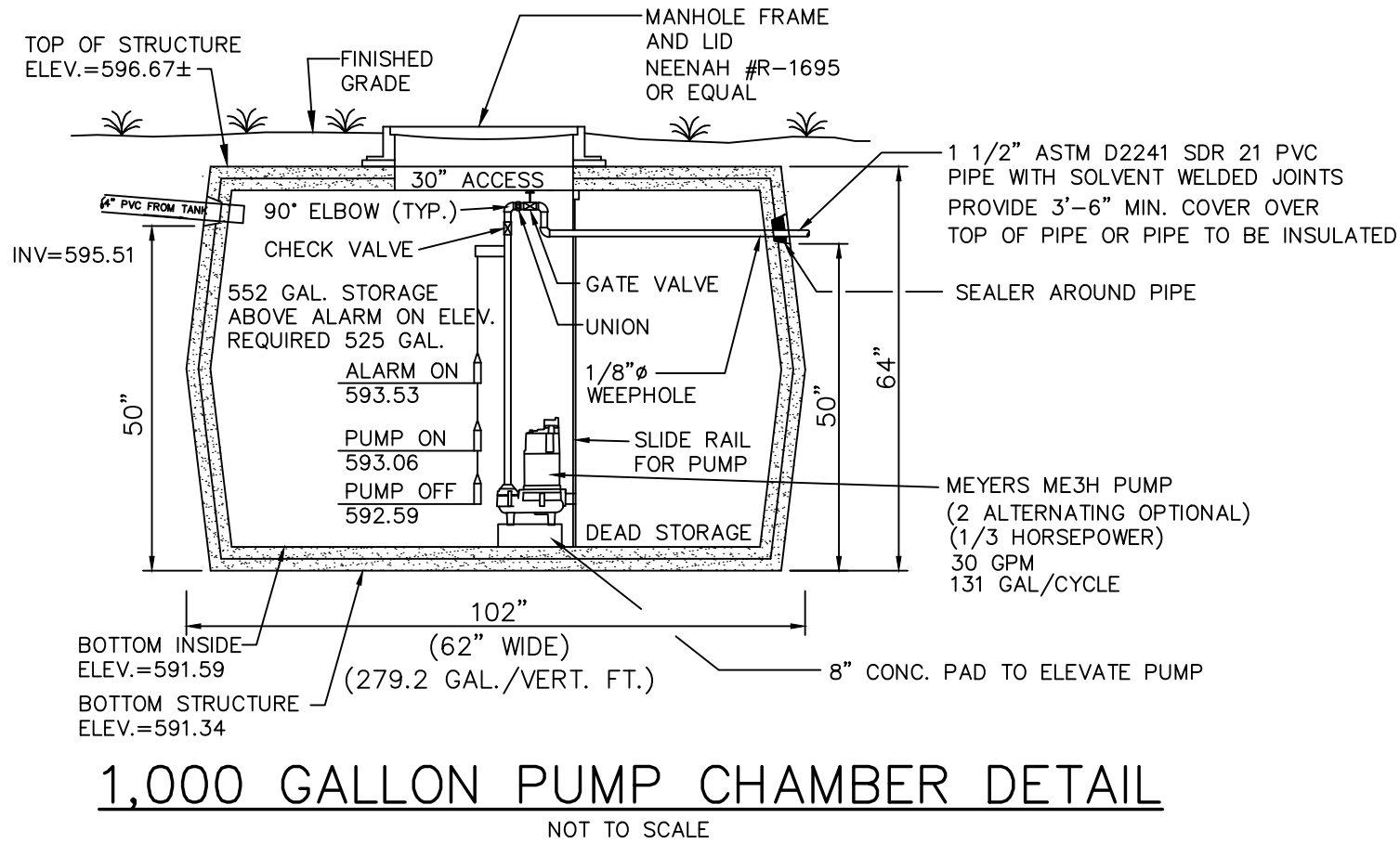
TYPICAL SECTION (NOT TO SCALE)

C-33 FILL SAND MATERIAL SPECS

- SELECT FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN THE THREE (3) INCH SIEVE. UP TO 45% OF THE DRY WEIGHT OF THE REPRESENTATIVE SAMPLE MAY BE RETAINED ON
- THE #4 SIEVE (THIS IS THE GRAVEL PORTION OF THE SAMPLE).
- THE MATERIAL THAT PASSES THE #4 SIEVE IS THEN REWEIGHED AND THE SIEVE ANALYSIS STARTED.
- THE REMAINING SAMPLE SHALL MEET THE FOLLOWING GRADATION CRITERIA:

SELECT FILL SIEVE SIZE	PERCENT PASSING WET SIEVE	PERCENT PASSING DRY SIEVE	C 33 SIEVE SIZE	PERCENT PASSING
#4	100%	100%	0.375"	100%
#10	70-100%	70-100%	#4	95.0-100.0%
#40	10-50%*	10-75%	#8	80.0-100.0%
#100	0-20%*	0-5%	#16	50.0-85.0%
#200	0-5%*	0-2.5%	#30	25.0-60.0%
			#50	5.0-30.0%
			#100	< 10%
			#200	< 5%

*PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5% IF THE FILL FAILS THE DRY SIEVE BUT PASSES THE WET SIEVE, THEN THE FILL SHALL BE APPROVED.



1,000 GALLON PUMP CHAMBER DETAIL

NOT TO SCALE

LEGEND

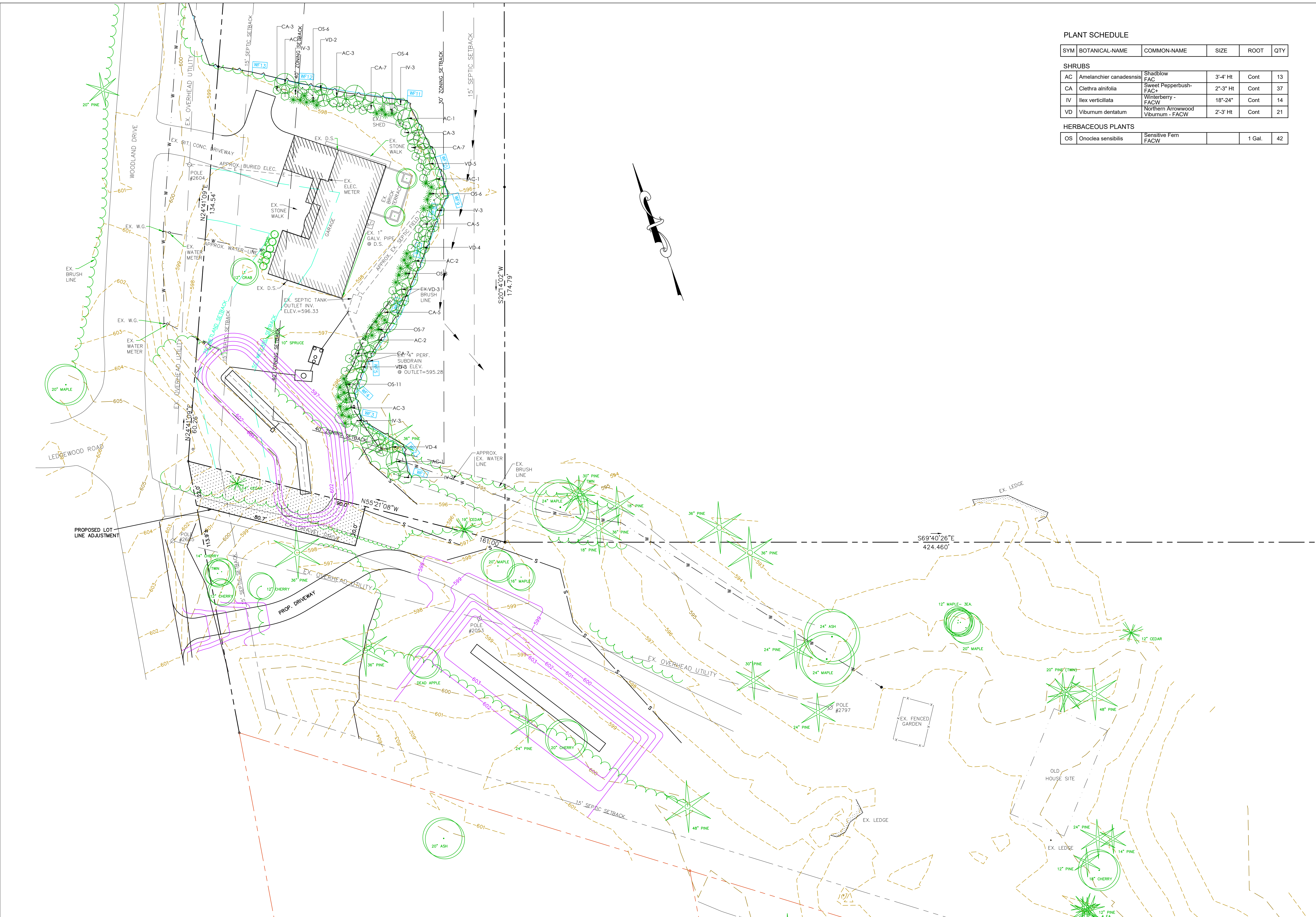
- STONE WALL
- WIRE FENCE
- NO PHYSICAL BOUNDARY
- DECIDUOUS TREE
- CONIFEROUS TREE
- FOLIAGE LINE
- FENCE
- CATCH BASIN
- WETLAND BOUNDARY
- EXISTING CONTOUR
- PROPOSED CONTOUR
- SILT FENCE
- PROPOSED SPOT ELEVATION
- APPROX. LIMIT OF DISTURBED AREA
- TO BE REMOVED
- EXISTING

AEEA
 Allied Engineering Assoc. Inc.
 P.O. Box 5100, Main St., 3rd Fl., East
 06039-0510, Lakeville, CT
 860-824-1400 860-824-1401 fax
 allied-engineering@aeea.net

- REVISIONS - DESCRIPTION - DATE - INITIAL
- REV. PER T&H COMMENTS - 2/23/22 - GHJ
 - REV. PER T&H COMMENTS - 5/3/2022 - GHJ
 - REV. GRADING PER T&H - 6/07/22 - GHJ
 - REV. PROPERTY LINE ADJUSTMENT - 7/01/22 - GHJ

PROPOSED SANITARY SEWAGE DISPOSAL SYSTEM B100a DESIGN PLAN
 PREPARED FOR: AARON & ALCYIA ZIMMERMAN
 16 WOODLAND DRIVE LAKEVILLE, CT.

SCALE: 1"=20'
 FILE NAME: 973-SITE-8
 DATE: 1/3/2022
 ISSUED FOR: PERMITTING
 PROJECT NO: 973
 DRAWING NO: C-2



PLANT SCHEDULE

SYM	BOTANICAL-NAME	COMMON-NAME	SIZE	ROOT	QTY
SHRUBS					
AC	Amelanchier canadensis	Shadblow FAC	3'-4" HT	Cont	13
CA	Clethra alnifolia	Sweet Pepperbush-FAC+	2"-3" HT	Cont	37
IV	Ilex verticillata	Winterberry - FACW	18"-24"	Cont	14
VD	Viburnum dentatum	Northern Arrowwood Viburnum - FACW	2'-3" HT	Cont	21
HERBACEOUS PLANTS					
OS	Onoclea sensibilis	Sensitive Fern FACW		1 Gal.	42

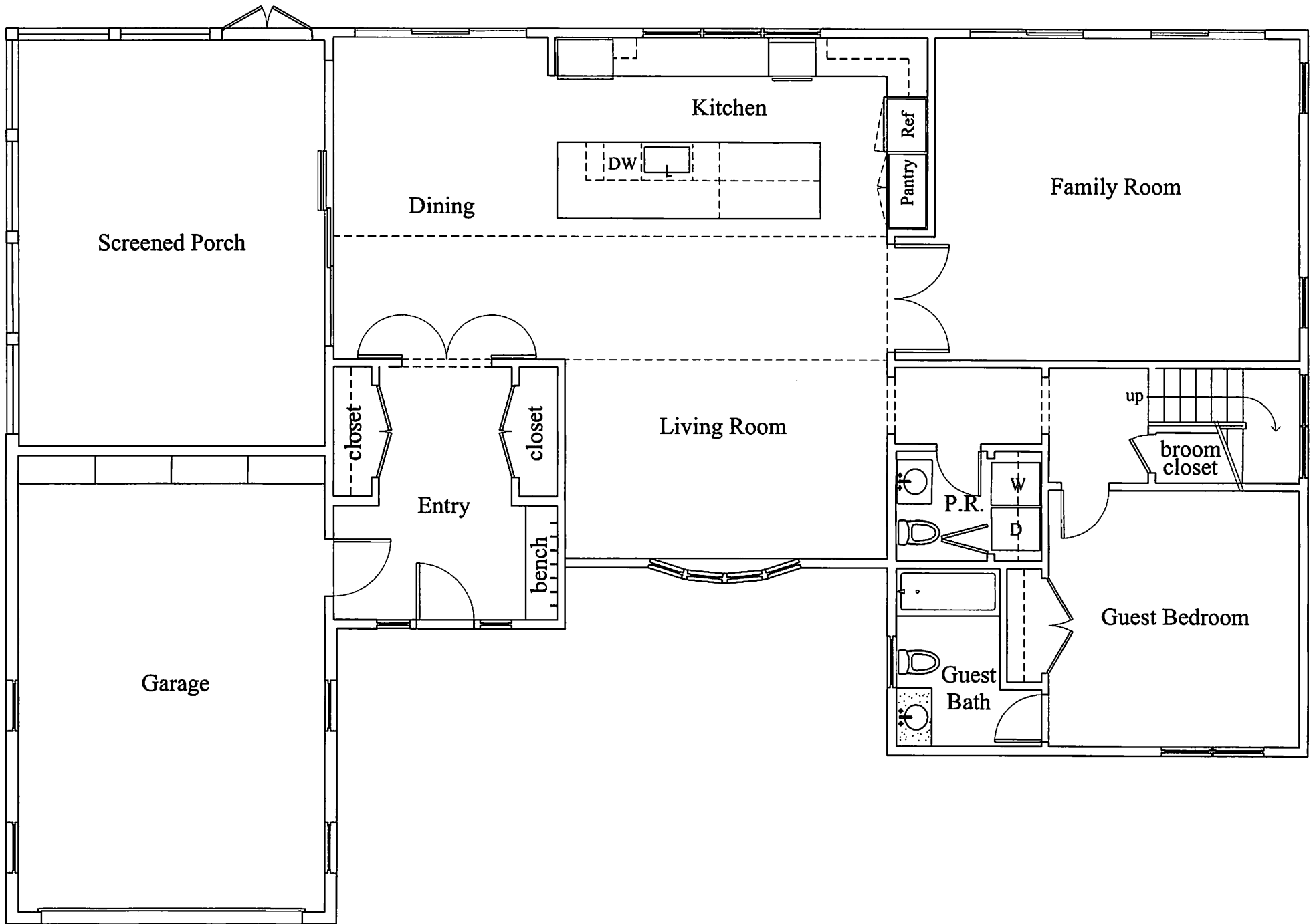
584

AEFA
 Allied Engineering Assoc. Inc.
 95 Main St., 3rd Fl., E. Ct. 06018
 P.O. Box 2700, North Ferrisburgh, VT 05474
 860-824-1400 (860-824-1401 fax)
 allied-engineering@snct.net

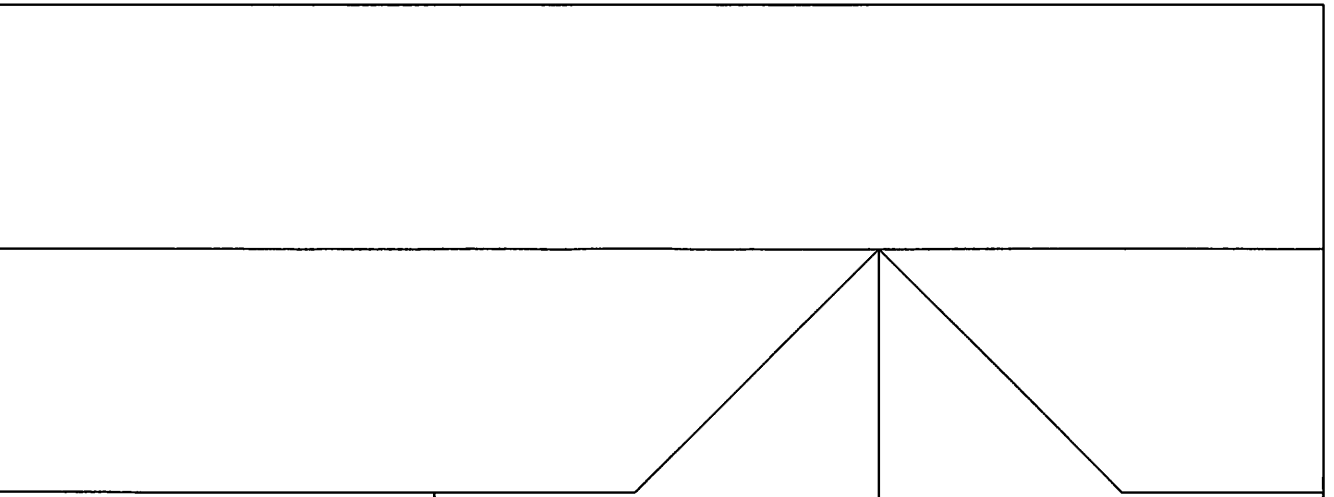
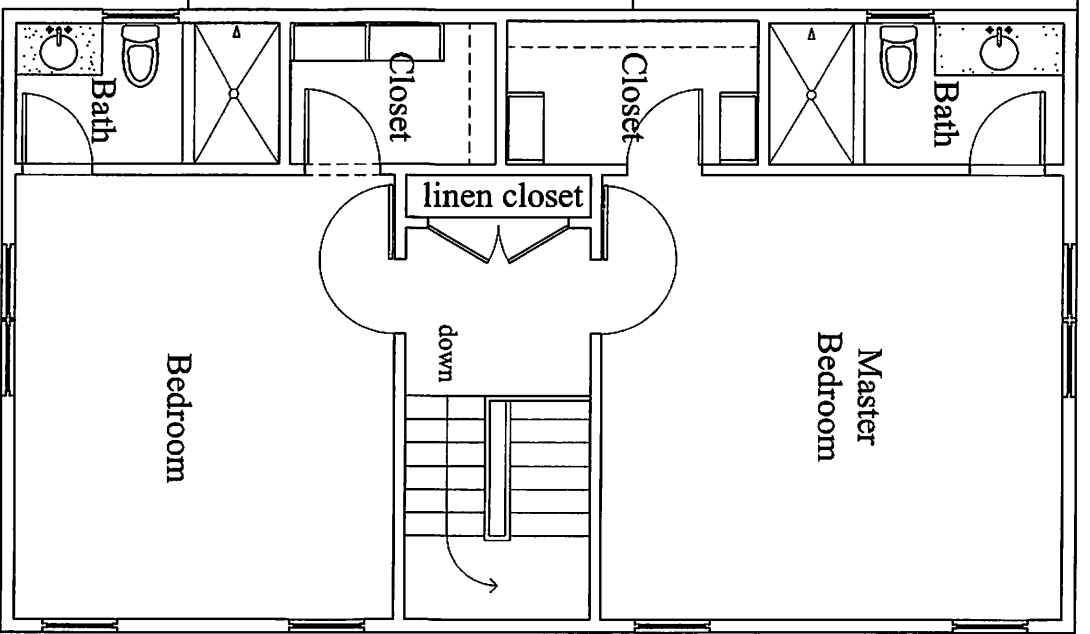
- REVISIONS - DESCRIPTION - DATE - INITIAL
1. - REV. PER TAHD COMMENTS - 2/23/22 - GHJ
 2. - REV. PER TAHD COMMENTS - 5/3/2022 - GHJ
 3. - REV. GRADING PER TAHD - 6/07/22 - GHJ
 4. - REV. PROPERTY LINE ADJUSTMENT - 7/01/22 - GHJ
 5. - REV. ADD WETLAND BUFFER PLANTS 8/26/22 - REC

**PROPOSED WETLAND BUFFER
 PLANTING PLAN**
 PREPARED FOR:
 AARON & ALCYIA ZIMMERMAN
 16 WOODLAND DRIVE
 LAKEVILLE, CT.

SCALE: 1"=20'
 FILE NAME: 973-SITE-9
 DATE: 1/3/2022
 ISSUED FOR: PERMITTING
 PROJECT NO. 973
 DRAWING NO. C-3



First Floor Plan



Second Floor Plan

TOWN OF SALISBURY, CONNECTICUT

Mon Sep 19 2022 14:31:24 GMT-0400 (Eastern Daylight Time)

Parcel ID	Site Address	Owner Name	Mailing Address	Mailing City	Mailing State	Mailing Zip
36-17	178 WELLS HILL ROAD	RICE MARGARET TRUSTEE	13912 FLINT STREET	OVERLAND PARK	KS	66221-0000
36-03	9 LEDGEWOOD ROAD	HUSSEY EMMET & MCBREAIRTY MAUREEN	9 LEDGEWOOD DR	LAKEVILLE	CT	06039-0000
36-04	159 WELLS HILL ROAD	CANTELE KEVIN SURV &	18 MAIN STREET	SALISBURY	CT	06068-0000
35-07	24 WOODLAND DRIVE	24 WOODLAND LLC	39 GARDEN PLACE	BROOKLYN	NY	11201-0000
35-22	2 LEDGEWOOD ROAD	DEMELLE WALTER JR & SUSAN	PO BOX 1453	LAKEVILLE	CT	06039-0000
36-16	160 WELLS HILL ROAD	ROUT ROBERT & VALERIE TRUSTEES	160 WELLS HILL ROAD	LAKEVILLE	CT	06039-0000
35-06	16 WOODLAND DRIVE	ZIMMERMAN AARON SURV &	52 DEAN STREET SPT 5D	BROOKLYN	NY	11201-0000
36-41	177 WELLS HILL ROAD	ZIMMERMAN MICHAEL J +	39 GARDEN PLACE	BROOKLYN	NY	11201-0000

36-17
RICE MARGARET TRUSTEE
13912 FLINT STREET
OVERLAND PARK KS 66221

35-07
24 WOODLAND LLC
39 GARDEN PLACE
BROOKLYN NY 11201

35-06
ZIMMERMAN AARON SURV &
52 DEAN STREET SPT 5D
BROOKLYN NY 11201

36-03
HUSSEY EMMET & MCBREAIRTY
9 LEDGEWOOD DR
LAKEVILLE CT 06039

35-22
DEMELLE WALTER JR & SUSAN
PO BOX 1453
LAKEVILLE CT 06039

36-41
ZIMMERMAN MICHAEL J +
39 GARDEN PLACE
BROOKLYN NY 11201

36-04
CANTELE KEVIN SURV &
18 MAIN STREET
SALISBURY CT 06068

36-16
ROUT ROBERT & VALERIE TRUSTEES
160 WELLS HILL ROAD
LAKEVILLE CT 06039

APPLICATION TO THE ZONING BOARD OF APPEALS DATED SEPTEMBER 22, 2022

SUPPORTING STATEMENT – 16 Woodland Drive, Alycia and Aaron Zimmerman

Alycia and Aaron Zimmerman purchased the property and residence known as 16 Woodland Drive on April 8, 2021. This lot was subdivided, and the single floor, 1792 square foot residence was constructed on it, according to Assessor's Tax Card, in 1950, well before the adoption of the Salisbury Zoning Regulations in 1959. The lot contains 1.574 acres and is quite irregular in shape, being far longer than wide. The northerly corner of the existing house extends significantly beyond the 40' zoning front yard setback line and the entire house is situated within 75 feet of the mapped wetlands boundary.

Mr. and Mrs. Zimmerman are a young couple with two minor children. Mr. Zimmerman's mother and father own 2 lots abutting their property. To accommodate a growing family and to anticipate possible care at home for visiting aging parents, the Zimmerman's propose to add approximately 1000 square feet of additional living space consisting of a second floor with two bedrooms and 2 baths, and a living room and entry way expansion on the first floor, with the garage relocated closer to Woodland Drive. Although the house will still contain 3 actual bedrooms, TAHD viewed the reconfigured living room as a possible bedroom and conditioned its approval on installation of new septic system. TAHD approved the Zimmerman plan on July 7, 2022, subject to completion of a minor boundary line adjustment involving the adjacent lot owned by Mr. Zimmerman's parents and approval by the Salisbury IWCC. The IWCC approved the Zimmerman plan on September 12, 2022, subject to "Standard Conditions." Copies of the proposed addition floor plan, the TAHD approval notice and the IWCC approval letter are in the file maintained by the Land Use Administrator. The proposed 0.040 acre lot line adjustment is depicted on the Survey and Site Plan.

The purpose of this Application is to (1) obtain an extremely minor front yard setback variance from Zoning Regulation Section 304 for a tiny portion of the corner of the proposed relocated garage that will extend slightly over the 40 foot front yard setback line; and (2) obtain a variance from Zoning Regulation Section 305.1 that prohibits the location of principal buildings within 75 feet of a watercourse.

When the Board considers the various factors that affect its decision whether or not to grant the requested variances, it is important to note the following:

1. The lot and residence located thereon preceded the adoption of zoning regulations and the shape of the lot and locations of wetlands preclude virtually any other plan of expansion;
2. The hardship affecting the Zimmerman's purely and simply results from the shape of the lot, proximity of wetlands and does not result from any circumstances created by them.
3. Literal compliance with the specific Regulations will limit the Zimmerman's only to the addition of second floor space on the existing footprint, severely limiting their ability to accommodate future family needs;

4. Granting of the requested variances is unlikely to affect substantially the comprehensive zoning plan, where, conversely, denial of the variance requests will cause unusual hardship to the Zimmerman's;
5. Most importantly with regard to the variance requested from Section 305.1, the Commission primarily responsible for the stewardship and protection of watercourses and waterbodies, the Salisbury IWWC, has approved the Zimmerman plan with specific conditions that are fully described on the Site Plan, and include erosion, controls and extensive plant buffering;
6. TAHD had determined that no additional bedrooms could be added to the residence, because of the failing condition of the existing septic system. The plan approved by TAHD calls for installation a totally new system, located further from the wetland soils boundary, and the abandonment in place of the existing system to minimize any disruption to wetland soils.

For the reasons set forth above, the Applicants respectfully request the Board to grant the requested Variances.