

ACCESSORY APARTMENT: HOTCHKISS SCHOOL

270 SHARON ROAD
LAKEVILLE, CT

DRAWING LIST

T1	• TITLE SHEET
C1	• CAMPUS SITE PLAN • ENLARGED SITE PLAN
A1	• FLOOR PLANS
A2	• EXTERIOR ELEVATIONS

ABBREVIATIONS

A.F.F.	• ABOVE FINISHED FLOOR	LVL	• LAMINATED VENEER LUMBER
ACO.U.	• ACOUSTICAL	M.H.	• MANHOLE
ALUM.	• ALUMINUM	M.O.	• MASONRY OPENING
ARCH.	• ARCHITECT	MAX.	• MAXIMUM
@	• AT	MECH.	• MECHANICAL
B/O	• BOTTOM OF	MFR.	• MANUFACTURER
BLDG.	• BUILDING	MIN.	• MINIMUM
BLK.	• BLOCK	MISC.	• MISCELLANEOUS
BOT.	• BOTTOM	MTL.	• METAL
C.D.	• CONSTRUCTION DOCUMENTS	N.I.C.	• NOT IN CONTRACT
C.H.	• CEILING HEIGHT (FINISHED)	N.T.S.	• NOT TO SCALE
CAB	• CABINET	NO.	• NUMBER
CB	• CATCH BASIN	NOM.	• NOMINAL
CIP	• CAST IRON PIPE	O.A.	• OVERALL
CJ	• CONTROL JOINT	O.C.	• ON CENTER
CL	• CENTERLINE	O.H.	• OVERHANG
CLG	• CEILING	OH	• OVERHEAD
CLO.	• CLOSET	OPG	• OPENING
CLR.	• CLEAR	OPP	• OPPOSITE
CMU	• CONCRETE MASONRY UNIT	P.L.	• PROPERTY LINE
CO	• CLEAN OUT	PART.	• PARTITION
COL.	• COLUMN	PERP.	• PERPENDICULAR
CONC.	• CONCRETE	PLWD.	• PLYWOOD
CONST.	• CONSTRUCTION	POLY	• POLYETHYLENE
CONT.	• CONTINUOUS	PSF	• POUNDS/SQUARE FOOT
CT	• CERAMIC TILE	PSI	• POUNDS/SQUARE INCH
D/W	• DISHWASHER	PSL	• PARALLEL STRAND LUMBER
DBL	• DOUBLE	PT	• PRESSURE TREATED
DEMO	• DEMOLITION	PVC	• POLYVINYLCHLORIDE
DET.	• DETAIL	QTY.	• QUANTITY
DIA.	• DIAMETER	R	• RADIUS
DIAG.	• DIAGONAL	R.D.	• ROOF DRAIN
DIM.	• DIMENSION	R.O.	• ROUGH OPENING
DL	• DEAD LOAD	R.O.W.	• RIGHT OF WAY
DN.	• DOWN	RE BAR	• REINFORCING BAR
DR	• DOOR	REF.	• REFRIGERATOR
DWG.	• DRAWING	REINF.	• REINFORCED
E.I.F.S.	• EXTERIOR INSULATION & FINISH SYSTEMS	REQ'D	• REQUIRED
EA.	• EACH	REV.	• REVISION
ELEC.	• ELECTRIC	RM	• ROOM
ELEV.	• ELEVATION	ROB	• RUN OF BANK
EPDM	• ETHYLENE PROPYLENE DIENE MONOMER	S.D.	• SMOKE DETECTOR
EQ.	• EQUAL	SAC	• SUSPENDED ACOUSTICAL CEILING
EQUIP.	• EQUIPMENT	SECT.	• SECTION
EXIST.	• EXISTING	SIM.	• SIMILAR
EXT.	• EXTERIOR	SPECS	• SPECIFICATIONS
F.E.	• FIRE EXTINGUISHER	SQ. FT.	• SQUARE FEET
F.D.	• FLOOR DRAIN	SQ. IN.	• SQUARE INCHES
FIN.	• FINISH	STL.	• STEEL
FIN. FL.	• FINISH FLOOR	STD.	• STANDARD
FL	• FLOOR	STOR.	• STORAGE
FOUND.	• FOUNDATION	SUSP.	• SUSPENDED
FTG.	• FOOTING	SYS.	• SYSTEM
GA.	• GAUGE	T&G	• TONGUE & GROOVE
GAL.	• GALLON	T/O	• TOP OF
GALV.	• GALVANIZED	TYP.	• TYPICAL
GFI	• GROUND FAULT INTERRUPTER	V.B.	• VAPOR BARRIER
GWB	• GYPSUM WALL BOARD	V.C.T.	• VINYL COMPOSITE TILE
H.M.	• HOLLOW METAL	V.C.B.	• VINYL COMPOSITE BASE
HC	• HANDICAP	V.T.	• VINYL TILE
HOR.	• HORIZONTAL	V.I.F.	• VERIFY IN FIELD
HVAC	• HEATING, VENTILATING AND AIR CONDITIONING	VERT.	• VERTICALLY
INSUL	• INSULATION	W.C.	• WATER CLOSET
INT.	• INTERIOR	W.P.	• WEATHER PROOF
KIT	• KITCHEN	W.W.M.	• WELDED WIRE MESH
LAV	• LAVATORY	W/	• WITH
LIN.	• LINEN	WD.	• WOOD
		WT.	• WEIGHT
		YD.	• YARD

GENERAL NOTES

- ALL WORK SHALL CONFORM TO 2022 CONNECTICUT STATE BUILDING CODE AS WELL AS ALL OTHER APPLICABLE CODES AND ORDINANCES.
- CONTRACTOR(S) IS TO REQUEST CLARIFICATION FROM THE ARCHITECT REGARDING ANY ERRORS, OMISSIONS, OR DISCREPANCIES, IF ANY, FOUND IN THE CONSTRUCTION DOCUMENTS BEFORE PROCEEDING WITH THE SAID WORK.
- NO DRAWING IS TO BE SCALED; USE DIMENSIONS ONLY.
- DIMENSIONS ARE TAKEN FROM FACE OF MASONRY/CONCRETE OR WOOD MEMBERS UNLESS OTHERWISE INDICATED.
- CONTRACTOR(S) IS TO OBTAIN AND PAY FOR ALL REQUIRED LOCAL PERMITS BEFORE WORK CAN COMMENCE.
- ITEMS NOT NOTED, BUT IMPLIED AS NECESSARY FOR THE PERFORMANCE OF THE CONTRACT, ARE CONSIDERED PART OF THE WORK
- ALL MATERIAL AND WORKMANSHIP IS TO BE GUARANTEED BY THE CONTRACTOR TO BE FREE FROM DEFECTS FOR A PERIOD OF ONE YEAR AFTER THE ISSUANCE OF A VALID CERTIFICATE OF OCCUPANCY. THE CONTRACTOR AGREES TO CORRECT ANY DEFECTS AS MAY OCCUR DURING THE GUARANTEE PERIOD.
- ALL WORK IS TO BE EXECUTED BY MECHANICS SKILLED IN THEIR TRADES.
- ALL CHANGES OR SUBSTITUTIONS ARE TO BE APPROVED BY THE OWNER IN WRITING BEFORE BEING INCORPORATED INTO THE WORK.
- ALL TRADES WILL COOPERATE WITH EACH OTHER TO FACILITATE THE PROGRESS OF THE ENTIRE JOB.
- CONTRACTOR(S) IS TO PROTECT THE PUBLIC AND PREMISES DURING THE PERIOD OF CONSTRUCTION WITH ADEQUATE SHORING, BRACING, FENCING, LIGHTING, ETC.
- CONTRACTOR(S) IS TO REMOVE ALL RUBBISH FROM THE SITE RESULTING FROM HIS/HER WORK DURING THE PROGRESS OF CONSTRUCTION AND SHALL LEAVE THE PREMISES IN A CONDITION SATISFACTORY TO THE OWNER PRIOR TO THE FINAL PAYMENT.
- ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL MINIMUM 4'-0" BELOW FINISHED GRADE, UNLESS BEARING ON SOLID ROCK IS ESTABLISHED.
- CONFIRM ALL EXISTING CONDITIONS BEFORE PROCEEDING WITH THE SAID WORK.
- CONFORM TO ALL MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS FOR THE INSTALLATION OR USE OF ALL MATERIALS UNLESS OTHERWISE NOTED.
- PITCH FINISH GRADE AWAY FROM STRUCTURE.
- ALL CONSTRUCTION IS NEW UNLESS INDICATED AS EXISTING.
- STUD BEARING WALLS AND ROOF AND FLOOR DECKS SHALL BE FRAMED WITH THE MEMBER SIZES AND/OR TYPES AT THE SPACING SHOWN ON THE PLANS. THE CONTRACTOR SHALL COORDINATE LOCATIONS OF ALL PLUMBING PIPING, HVAC DUCTING AND RECESSED LIGHTING FIXTURES, ETC., PRIOR TO LAYOUT TO AVOID INTERFERENCE THAT MAY REQUIRE THE ALTERING OR STRENGTHENING OF THE INSTALLED FRAMING.

SYMBOLS

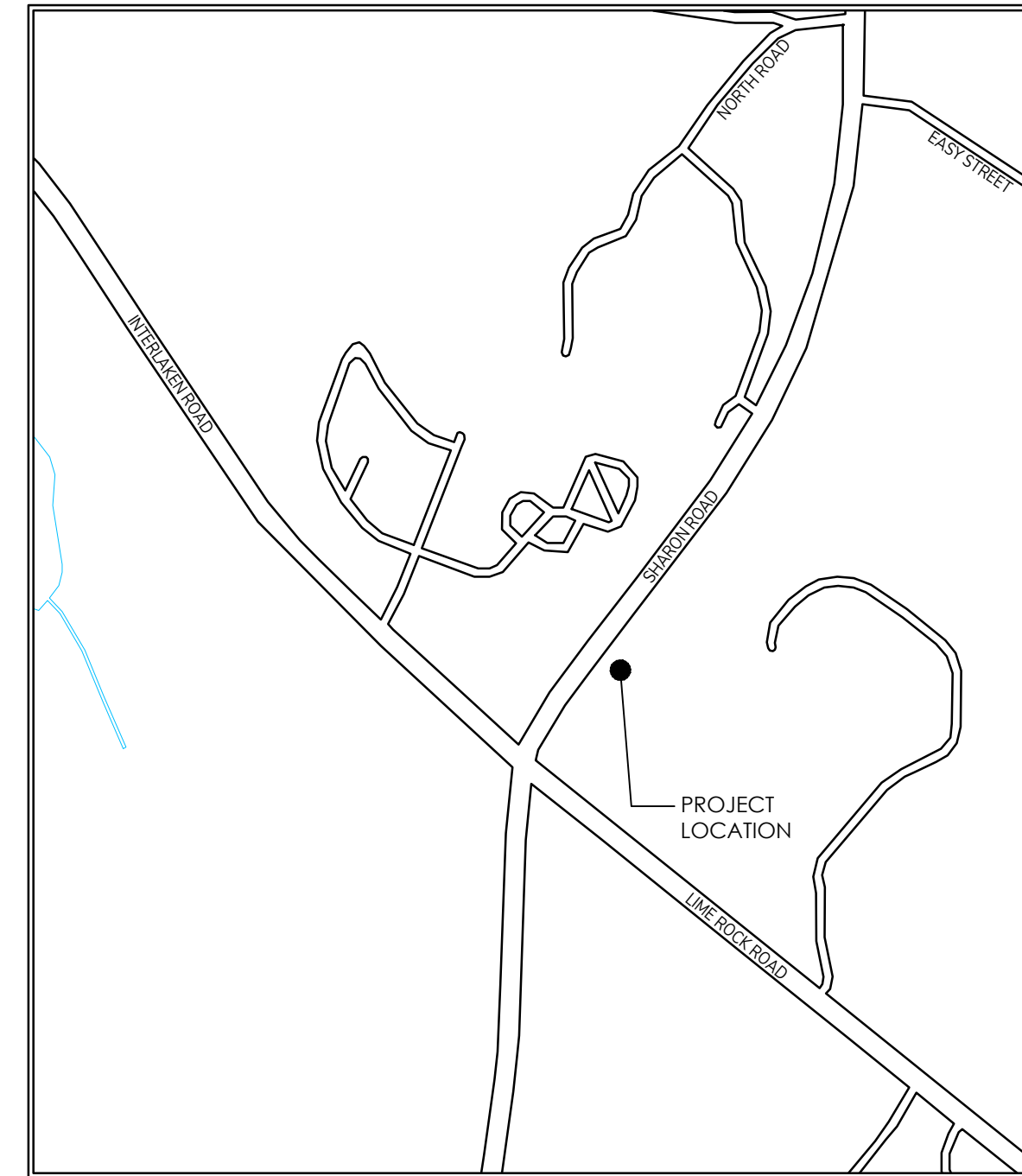
	ELEVATION NUMBER OR LETTER		DOOR TAG
	INTERIOR ELEVATION SYMBOL		WINDOW TAG
	SECTION NUMBER OR LETTER		GROUND FLOOR PLAN
	BUILDING/WALL SECTION MARK		DRAWING TITLE
	DETAIL MARK		COLUMN GRIDS
	ELEVATION/DATUM POINT		CENTER LINE
	PARTITION TYPE		BREAK LINE
	ROOM OR OPEN SPACE IDENTIFICATION		DOTTED LINE (LINE ABOVE OR BELOW PLAN SOFFITS, ETC)
			DIMENSION LINE

MATERIAL LEGEND

	STONE GRAVEL		WOOD BLOCKING
	CONCRETE		CONTINUOUS WOOD FRAMING
	CONCRETE BLOCK		FINISH WOOD
	BRICK		PLYWOOD
	RIGID INSULATION		BATT INSULATION
	GYPSUM WALLBOARD PARTITION		STEEL

PROJECT DATA

LOCATION MAP
SCALE: 1"=500'-0"



CLASSIFICATION:
OCCUPANCY • R - RESIDENTIAL
CONSTRUCTION • TYPE 5B - FRAME CONSTRUCTION

DESIGN CRITERIA:

MIN. UNIFORM DISTRIBUTED LIVE LOADS (LBS./S.F.):

FIRST FLOOR	• 40
SECOND FLOOR	• 40
THIRD FLOOR	• 40
STAIRS	• 40
ATTIC W/O STOR.	• 10
ATTIC W/ STOR.	• 20
DECKS	• 40
GUARDRAIL/ HANDRAIL	• 200
ROOF	• 35 GROUND SNOW LOAD

WIND SPEED:

115 M.P.H.	• STANDARD LIGHT-FRAME CONSTRUCTION IN THIS OCCUPANCY IS SUFFICIENT FOR THIS DESIGN CATEGORY
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SEISMIC DESIGN CATEGORY:

C	• STANDARD LIGHT-FRAME CONSTRUCTION IN THIS DESIGN CATEGORY
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FLOOD HAZARD:

NEW CONSTRUCTION IS NOT LOCATED IN AREA INDICATED AS 100 YEAR FLOOD PLAN AS PER NATIONAL RESOURCES, PREPARED BY FEMA.

ACCESSORY APARTMENT: AT THE HOTCHKISS SCHOOL

270 SHARON ROAD
LAKEVILLE, CT



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1	SITE PLAN APPROVAL	03.15.23
#	ISSUE/REVISION	DATE

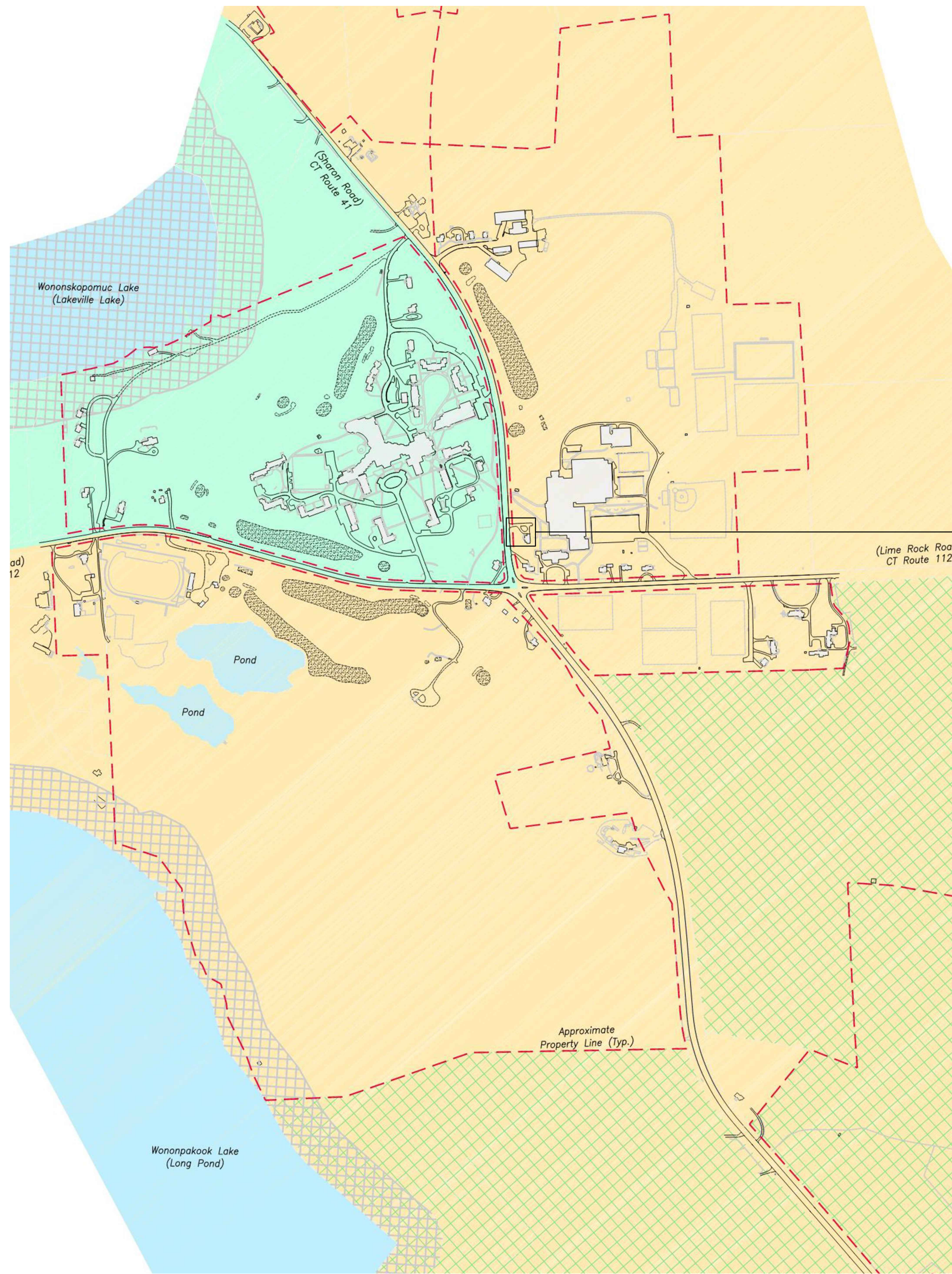
SHEET TITLE:
TITLE SHEET

SCALE:
AS NOTED

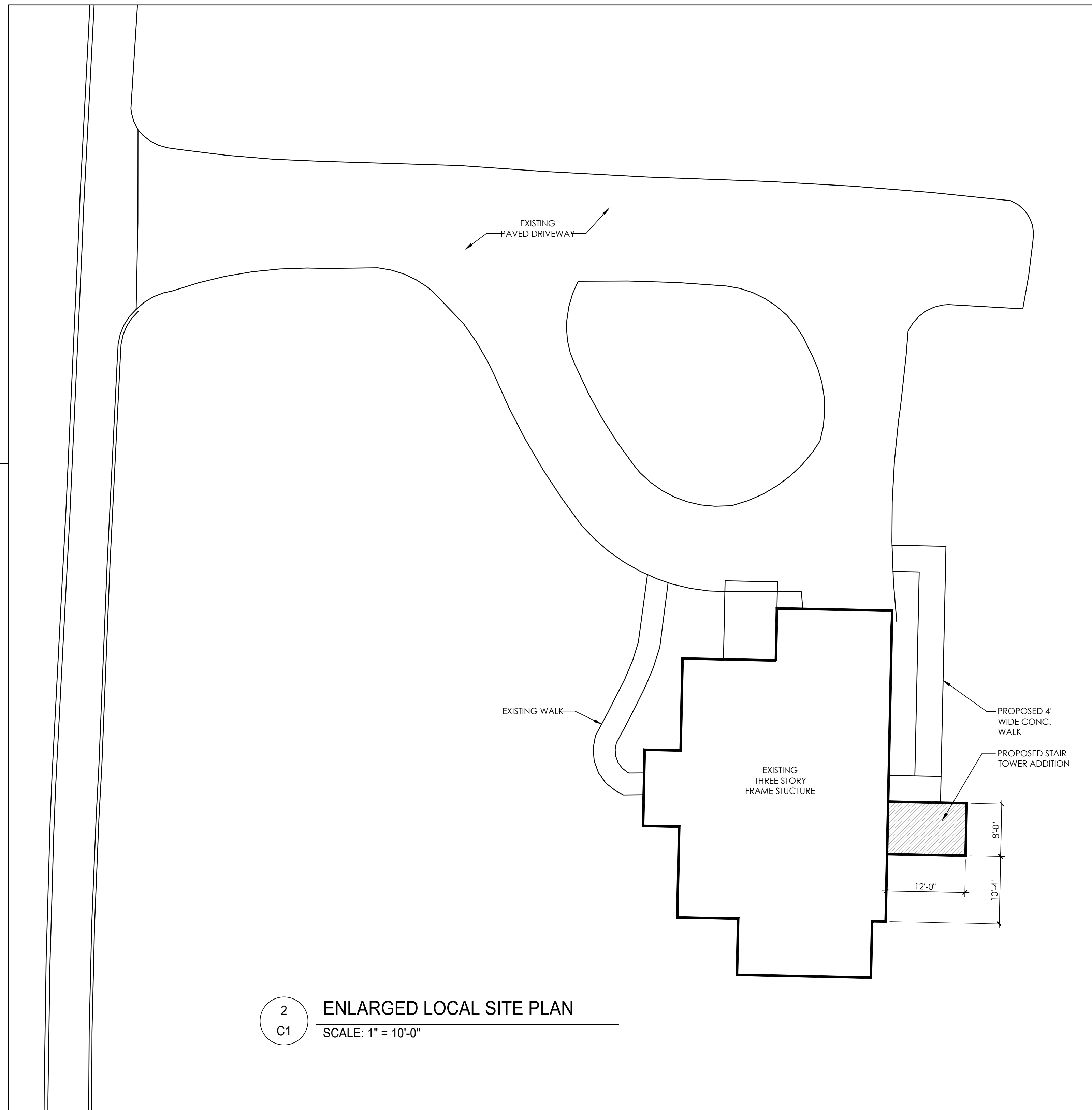
DATE:
15 MARCH 2023

PROJECT NUMBER:
2301

SHEET NUMBER:
T1



1 **CAMPUS SITE PLAN**
C1 SCALE: 1" = 500'-0"



2 **ENLARGED LOCAL SITE PLAN**
C1 SCALE: 1" = 10'-0"

TOWN OF SALISBURY CT DIMENSIONAL REGULATIONS RR-1 RURAL RESIDENTIAL 1 ZONE											
	MINIMUM REQUIRED								MAXIMUM DIMENSION		
	LOT AREA (SF)	BUILD. AREA (SF)	STREET FRONTAGE (FT)	FRONT YARD (FT)	REAR YARD (FT)	SIDE YARD (FT)	SQUARE (SF)	SEPARATION BETWEEN BUIL. (FT)	PARKING SPACES	LOT BUILDING COVERAGE (PERCENT)	BUILDING HEIGHT (FT)
REQ'D/ PERMITTED	80,000	20,000	25	40	30	30	150	10	2/SINGLE FAMILY I/ACCES. APT*	10%	35
EXISTING	5,968,878 +/-	5,968,878 +/-	> 2,700	71.5*	1,377*	243*	>150	132*	3+*	0.029%*	27*
PROPOSED	5,968,878 +/-	5,968,878 +/-	> 2,700	71.5*	1,363*	243*	>150	118*	3+*	0.03%*	27*

* INDICATES DIMENSIONAL MEASUREMENTS FOR THIS STRUCTURE ONLY

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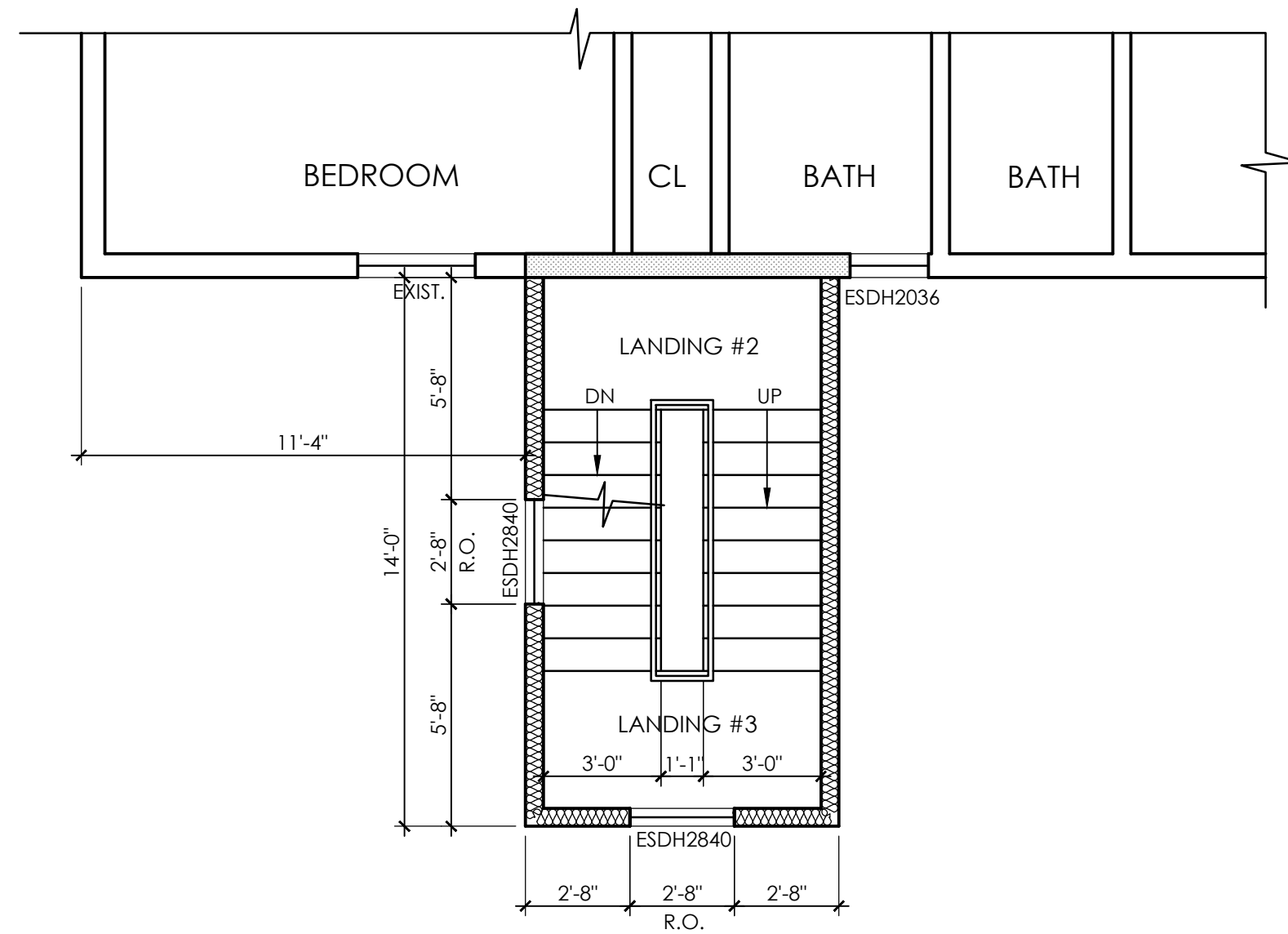
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SHEET TITLE:
**CAMPUS SITE PLAN
ENLARGED LOCAL SITE PLAN**

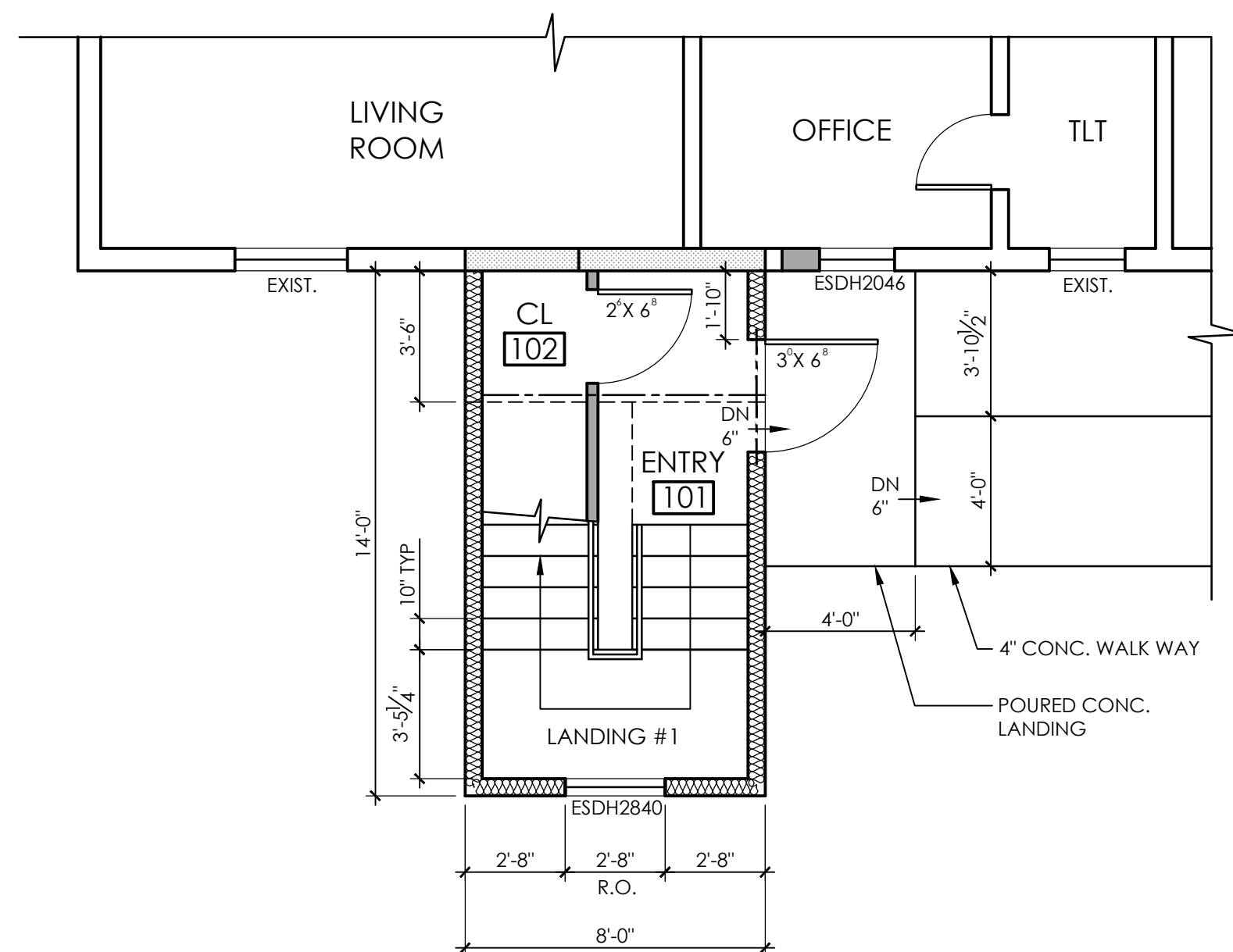
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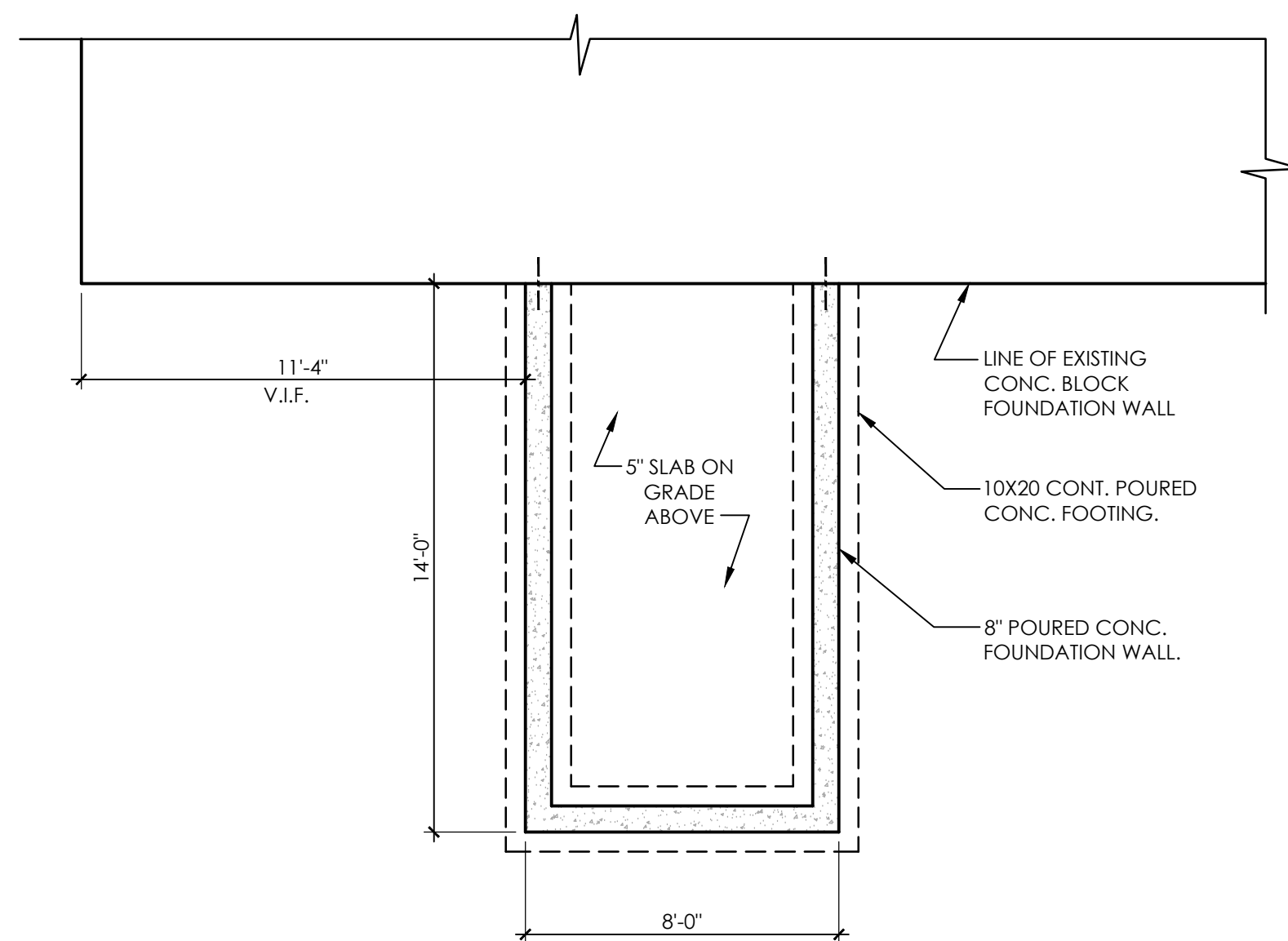
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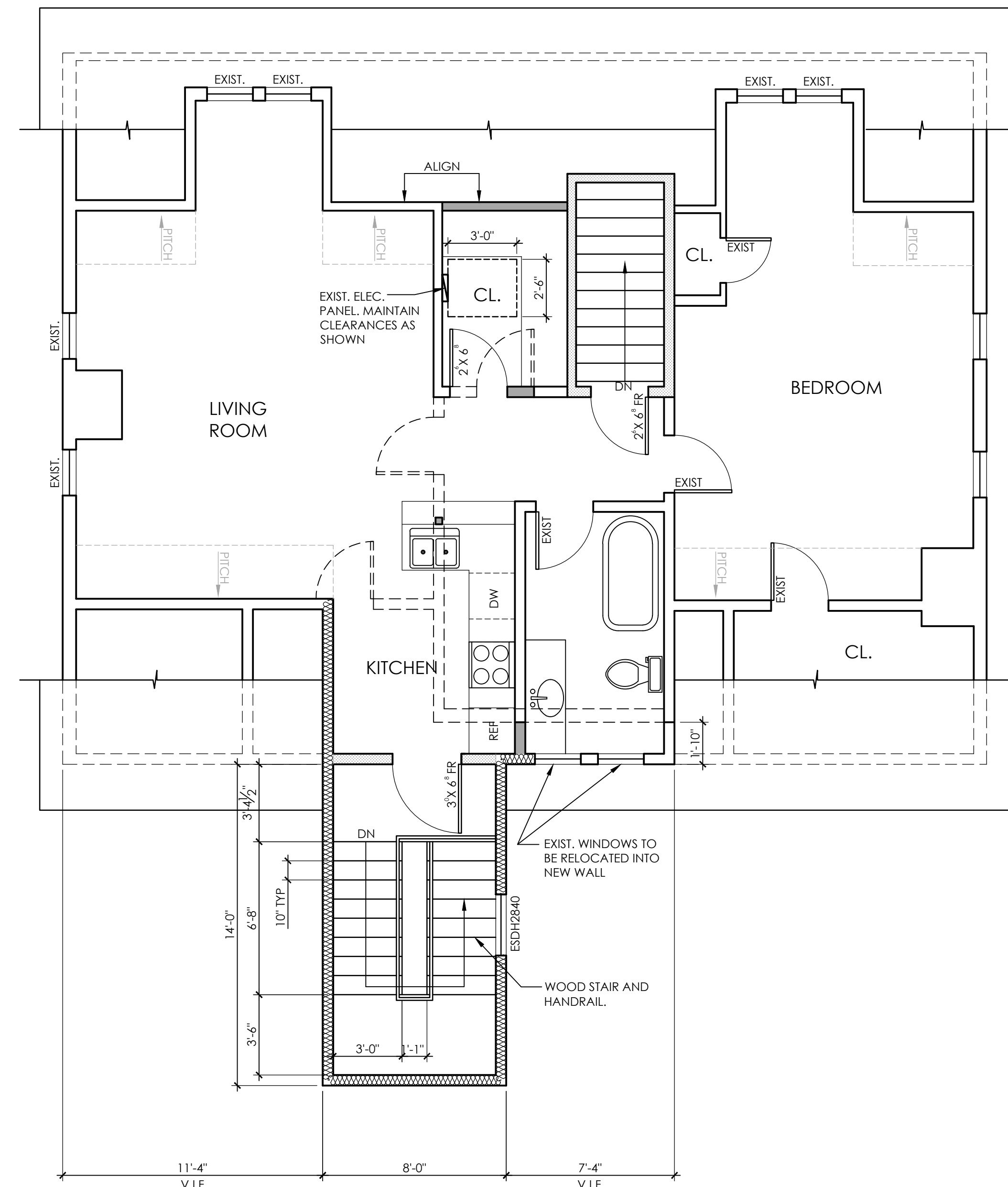
3 STAIR TOWER SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 STAIR TOWER FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 STAIR TOWER FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



4 THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL TYPES :

	EXISTING WALL CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	WALL TYPE 1 - NEW EXTERIOR WALL: 8" CONC. FOUNDATION WALL W/ #4 HORIZ. REBAR @ 1'-3" O.C. AND #5 VERTICAL REBAR @ 24" O.C. SEE DETAIL 1/A1 FOR MORE DETAILS
	WALL TYPE 2 - NEW EXTERIOR WALL: 2x6 WOOD STUDS @ 16" O.C. FILL CAVITY W/ R-21 FIBERGLASS BATT INSULATION. EXTERIOR FINISH: VINYL SIDING TO MATCH EXISTING. PROVIDE 1/2" CDX SHEATHING AND 'SOLOTEX' MENTO 1000 HOUSE WRAP OR EQUAL THROUGHOUT. INTERIOR FINISH: 1/2" GYPSUM WALL BOARD.
	WALL TYPE 3 - NEW INTERIOR WALL: 2x4 WOOD STUDS (U.O.N.) @ 16" O.C. W/ (1) LAYER OF 1/2" GYPSUM WALL BOARD ON EACH SIDE. PROVIDE TILE BACKER/UNDERLAYMENT IN AREAS TO BE TILED.
	WALL TYPE 4 - EXISTING WOOD STUD WALL (2X4 MIN). PROVIDE (1) LAYER 1/2" TYPE X FIRERATED GWB EACH SIDE AND 3 1/2" FIBERGLASS BATT INSULATION AT CAVITIES

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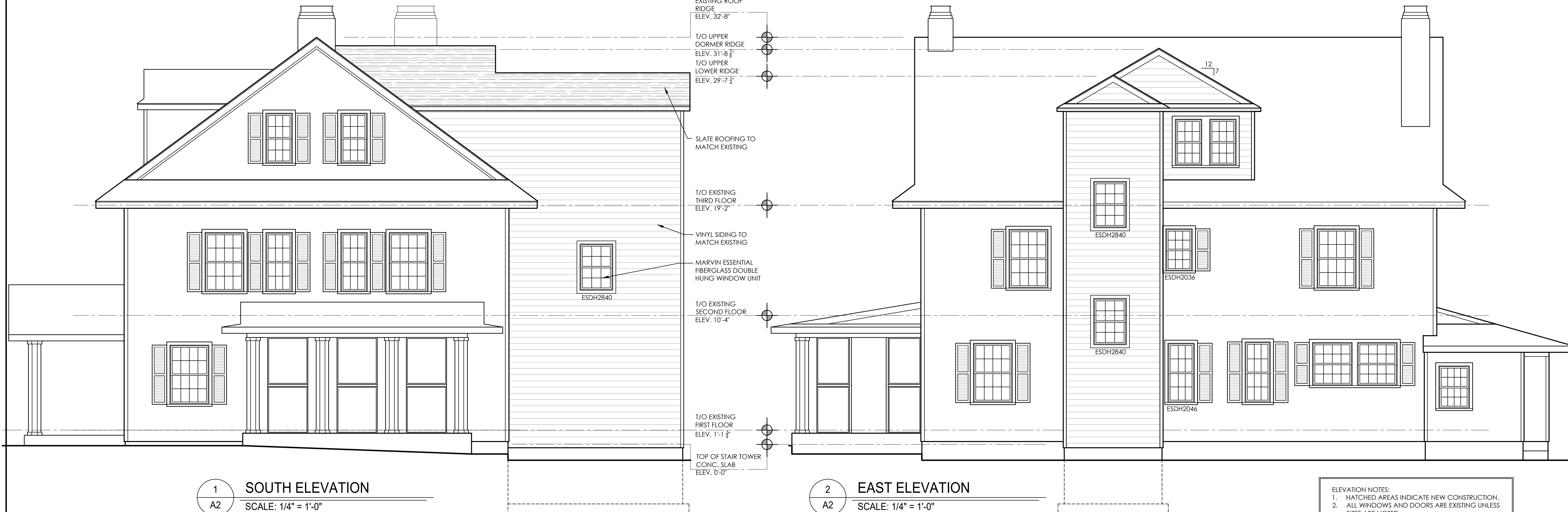
FLOOR PLANS

SCALE: AS NOTED
DATE: 15 MARCH 2023
PROJECT NUMBER: 2301

SHEET NUMBER: **A1**

ACCESSORY APARTMENT:
AT
THE HOTCHKISS SCHOOL

270 SHARON ROAD
LAKEVILLE, CT



1 SOUTH ELEVATION
A2 SCALE: 1/4" = 1'-0"

2 EAST ELEVATION
A2 SCALE: 1/4" = 1'-0"

ELEVATION NOTES:
1. HATCHED AREAS INDICATE NEW CONSTRUCTION.
2. ALL WINDOWS AND DOORS ARE EXISTING UNLESS SIZES ARE NOTED.
3. FINISHES TO MATCH EXISTING.



3 NORTH ELEVATION
A2 SCALE: 1/4" = 1'-0"



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#	REVISION	DATE
1	PLANNING BOARD APPROVAL	03.15.23

SHEET TITLE:
EXTERIOR ELEVATIONS

SCALE: AS NOTED	SHEET NUMBER: A2
DATE: 15 MARCH 2023	
PROJECT NUMBER: 2301	