

MARY LEE SILKS, TRUSTEE
OF THE AMENDED AND RESTATED
DECLARATION AND AGREEMENT OF
TRUST FOR THE MARY H. SILKS TRUST
OF 2012, DATED MARCH 22, 2024
VOL. 244 PG. 1076

MARY LEE SILKS
VOL. 244 PG. 1148

2.996± ACRES
130,519 S.F.

LAKE WONONSCOPOMUC
PROPERTY LINE FOLLOWS THE ORDINARY HIGH
WATER MARK
FOR APPROX. 226'

113 INTERLAKEN ROAD, LLC
VOL. 211 PG. 954

NOTES

- OWNER OF RECORD : JAMES M. BRONER AND MIRIAM Y. BRONER, TRUSTEES OF THE JAMES M. BRONER REVOCABLE TRUST DATED MARCH 3, 2023. MIRIAM Y. BRONER AND JAMES M. BRONER, TRUSTEES OF THE MIRIAM Y. BRONER REVOCABLE TRUST DATED MARCH 3, 2023. SALISBURY LAND RECORDS VOL. 246 PG. 1030.
- REFER TO MAP TITLED "MAP SHOWING PROPERTY OF ESTATE OF ELEANOR D. WHITE IN TOWN OF SALISBURY, CONNECTICUT, SCALE 1"=100', DATED 1961, REVISED JUNE 1962." BY HOWARD KNICKERBOCKER L.S. ON FILE IN SALISBURY LAND RECORDS AS MAP #1012.
- REFER TO MAP TITLED "MAP SHOWING EXCHANGE OF PROPERTY BETWEEN ELEANOR D. WHITE AND ROBB AND MAGDALENA V. QUINBY IN TOWN OF SALISBURY, CONNECTICUT, SCALE 1"=40', APRIL 5, 1954." BY HOWARD KNICKERBOCKER L.S.
- REFER TO MAP TITLED "MAP SHOWING PORTION PROPERTY OF RUTH R. BAUER IN TOWN OF SALISBURY TO BE CONVEYED TO GERTRUDE E. FOX, SCALE 1"=40', AREA = 1.53± ACRES." BY HOWARD KNICKERBOCKER L.S.
- REFER TO MAP TITLED "MAP PREPARED FOR ROBERT E. BLANK & RENEE H. BLANK, #117 INTERLAKEN ROAD - ROUTE 112, LAKEVILLE, SALISBURY, CONNECTICUT, SCALE 1"=30', MAY 3, 2007, TOTAL AREA = 2.958± ACRES." BY MATHIAS M. KIEFER L.S.
- REFER TO MAP TITLED "MAP PREPARED FOR JAMES M. BRONER MIRIAM Y. BRONER, #117 INTERLAKEN ROAD - ROUTE 112, LAKEVILLE, SALISBURY, CONNECTICUT, SCALE 1"=30', DECEMBER 21, 2015, TOTAL AREA = 2.996± ACRES, REVISED SEPTEMBER 2, 2016." BY MATHIAS M. KIEFER L.S.
- REFER TO MAP TITLED "SITE PLAN MAP PREPARED FOR JAMES M. BRONER MIRIAM Y. BRONER, #117 INTERLAKEN ROAD - ROUTE 112, LAKEVILLE, SALISBURY, CONNECTICUT, SCALE 1"=30', DECEMBER 22, 2015, TOTAL AREA = 2.996± ACRES." BY MATHIAS M. KIEFER L.S.
- REFER TO MAP TITLED "PROPOSED IMPROVEMENT LOCATION SURVEY, MAP PREPARED FOR JAMES M. BRONER, MIRIAM Y. BRONER, #117 INTERLAKEN ROAD - ROUTE 112, LAKEVILLE, SALISBURY, CONNECTICUT, SCALE 1"=30', SEPTEMBER 6, 2016, TOTAL AREA = 2.996± ACRES." BY MATHIAS M. KIEFER L.S.
- REFER TO SURVEYS BY HOWARD KNICKERBOCKER L.S., PETER A. LAMB L.S., MATHIAS M. KIEFER L.S.

NOTES

- REFER TO SALISBURY LAND RECORDS VOL. 73 PG. 86-88 FOR PRIVATE PROPERTY EASEMENT TO CONNECTICUT POWER COMPANY.
- EDGE OF LAKE WONONSCOPOMUC LOCATED IN THE FIELD ON DECEMBER 3, 2015.
- PROPERTY IS LOCATED IN LA LAKESIDE ZONE- MINIMUM LOT SIZE= 40,000 S.F. BUILDING SETBACKS ARE 50' FRONT, 25' SIDES AND REAR, MINIMUM SQUARE IS 150'. MAXIMUM BUILDING COVERAGE PER LOT IS 10% OF LOT SIZE.
- PORTION OF PROPERTY IS IN LAKE PROTECTION OVERLAY DISTRICT OF THE SALISBURY PLANNING AND ZONING REGULATIONS (REFER TO SECTION 804.) REFER TO SALISBURY PLANNING AND ZONING REGULATIONS SECTION 423.2B (MAXIMUM ALLOWABLE AREA OF IMPERVIOUS SURFACE IS 10%)
- REFER TO SALISBURY PLANNING AND ZONING REGULATIONS SECTION 423 REGARDING BUILDING SETBACK (75') FROM ANY LAKE, POND, OR STREAM.
- THERE ARE UNDERGROUND UTILITIES AND DRAINAGE STRUCTURES ON THE PROPERTY. EXACT LOCATION OF THESE UTILITIES AND DRAINAGE STRUCTURES IS UNKNOWN. UNDERGROUND UTILITY, DRAINAGE STRUCTURE, AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY RESPECTIVE COMPANIES OR GOVERNMENTAL AGENCIES FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONAL, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO LAMB-KIEFER LAND SURVEYORS, L.L.C. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

EXISTING LAKE PROTECTION OVERLAY DISTRICT SUMMARY	
LOT AREA WITHIN LAKE PROTECTION OVERLAY DISTRICT =	67,802 S.F.
ALLOWABLE IMPERVIOUS SURFACE AREA =	6,780 S.F.
TOTAL AREA OF IMPERVIOUS SURFACE =	5,980 S.F.
AMOUNT OF ADDITIONAL IMPERVIOUS SURFACE =	800 S.F.

LEGEND

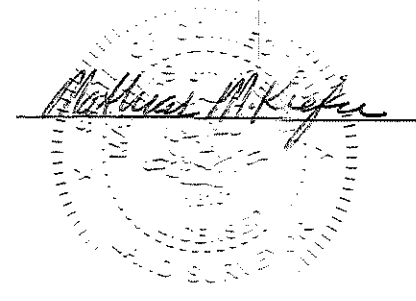
- UTILITY POLE
- SEWER MANHOLE
- SEWER LINE
- EDGE OF LAWN/WOODS
- EDGE LAKE (ORDINARY HIGH WATER)
- EDGE WATER
- OVERHEAD UTILITY LINE
- UNDERGROUND UTILITY LINE (APPROX)
- STONE RETAINING WALL
- WOOD FENCE

SCALE 30 0 30 60 90
GRAPHIC SCALE - FEET

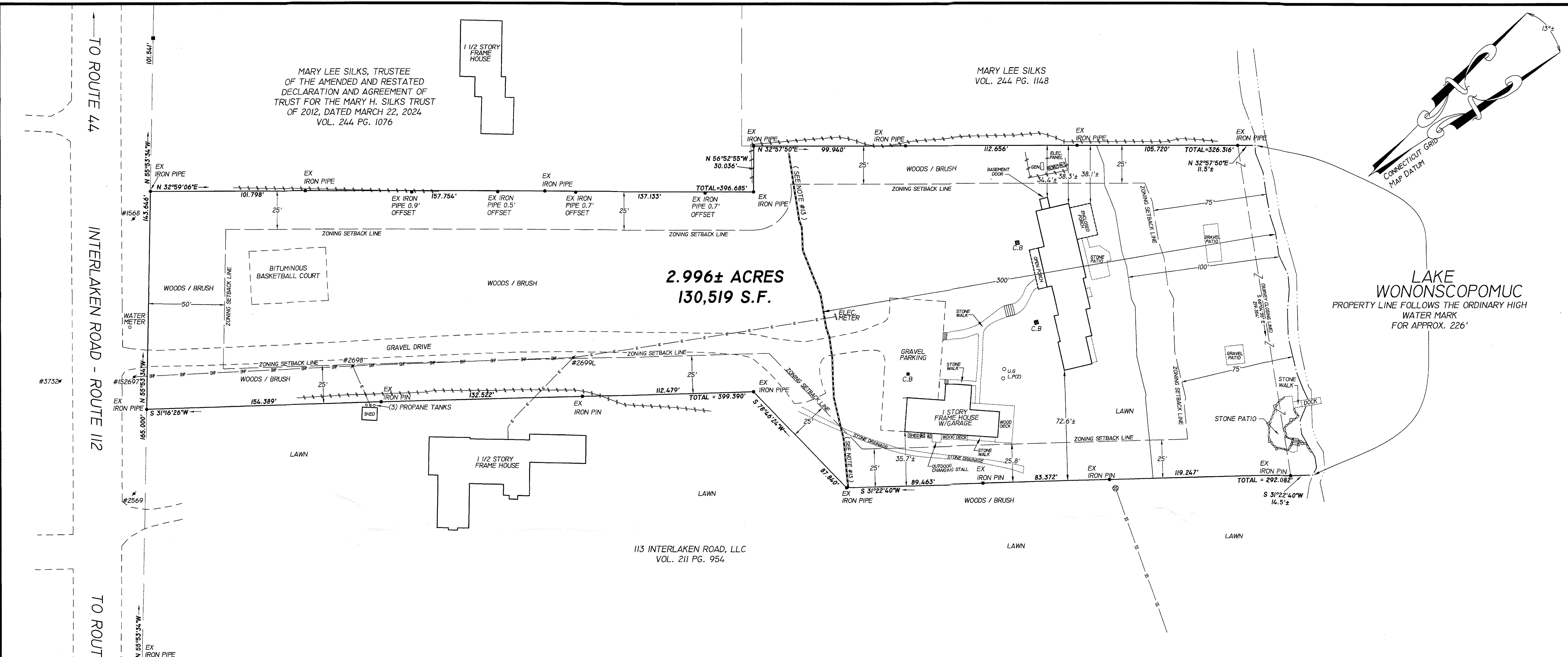
ZONING LOCATION SURVEY
MAP PREPARED FOR
JAMES M. BRONER
MIRIAM Y. BRONER
#117 INTERLAKEN ROAD - ROUTE 112
" LAKEVILLE "
SALISBURY, CONNECTICUT
SCALE 1" = 30' FEBRUARY 16, 2026
TOTAL AREA = 2.996± ACRES

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THRU 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES-"STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS REVISED OCTOBER 26, 2018 AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., ON AUGUST 29, 2019. IT IS A PROPERTY BOUNDARY SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.



MATHIAS M. KIEFER, L.L.S.#16101
FROM THE OFFICE OF:
LAMB KIEFER LAND SURVEYORS
(SALISBURY, CONNECTICUT)
MAP NOT VALID WITHOUT A LIVE SIGNATURE
AND EMBOSSED SEAL

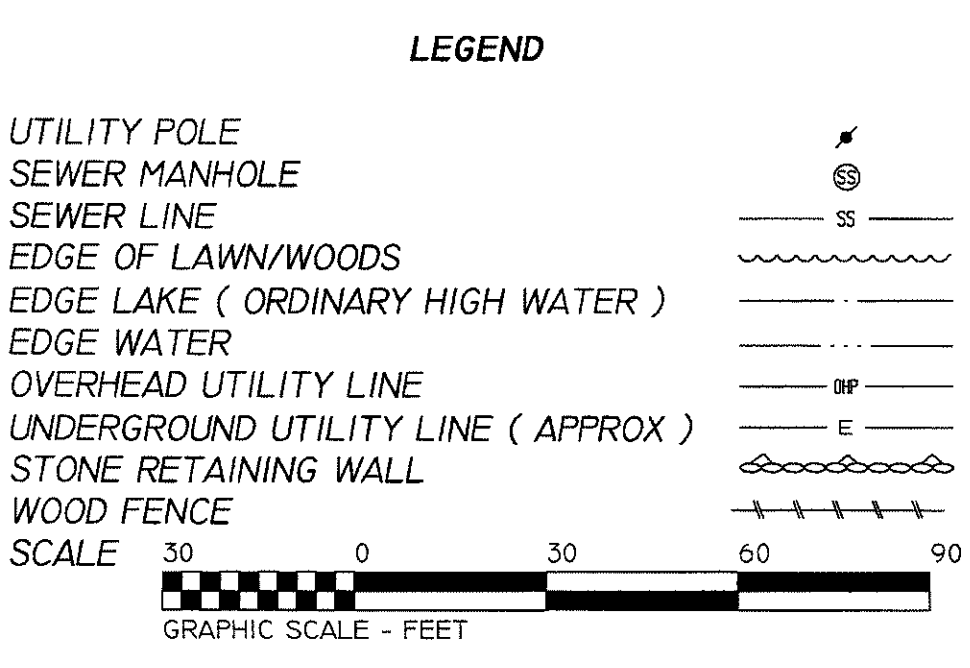


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LAKE WONONSCOPOMUC
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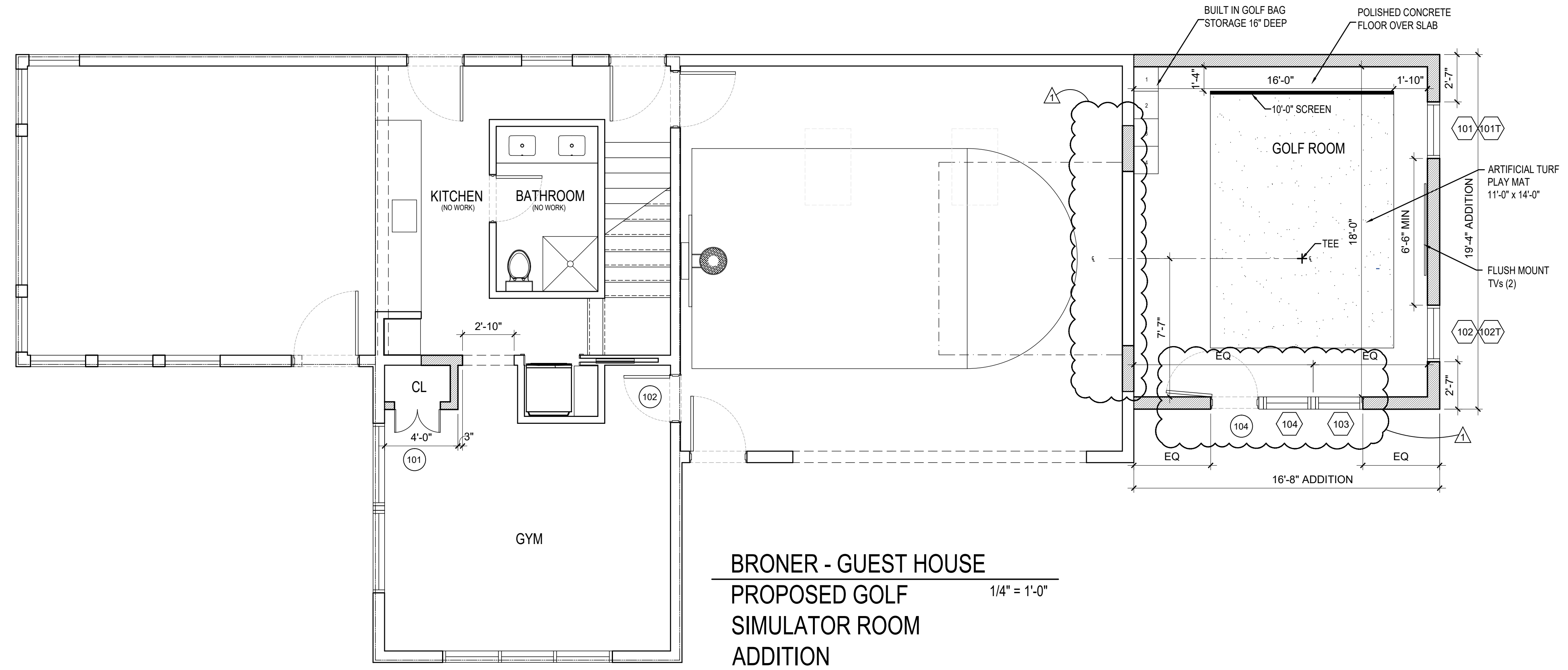
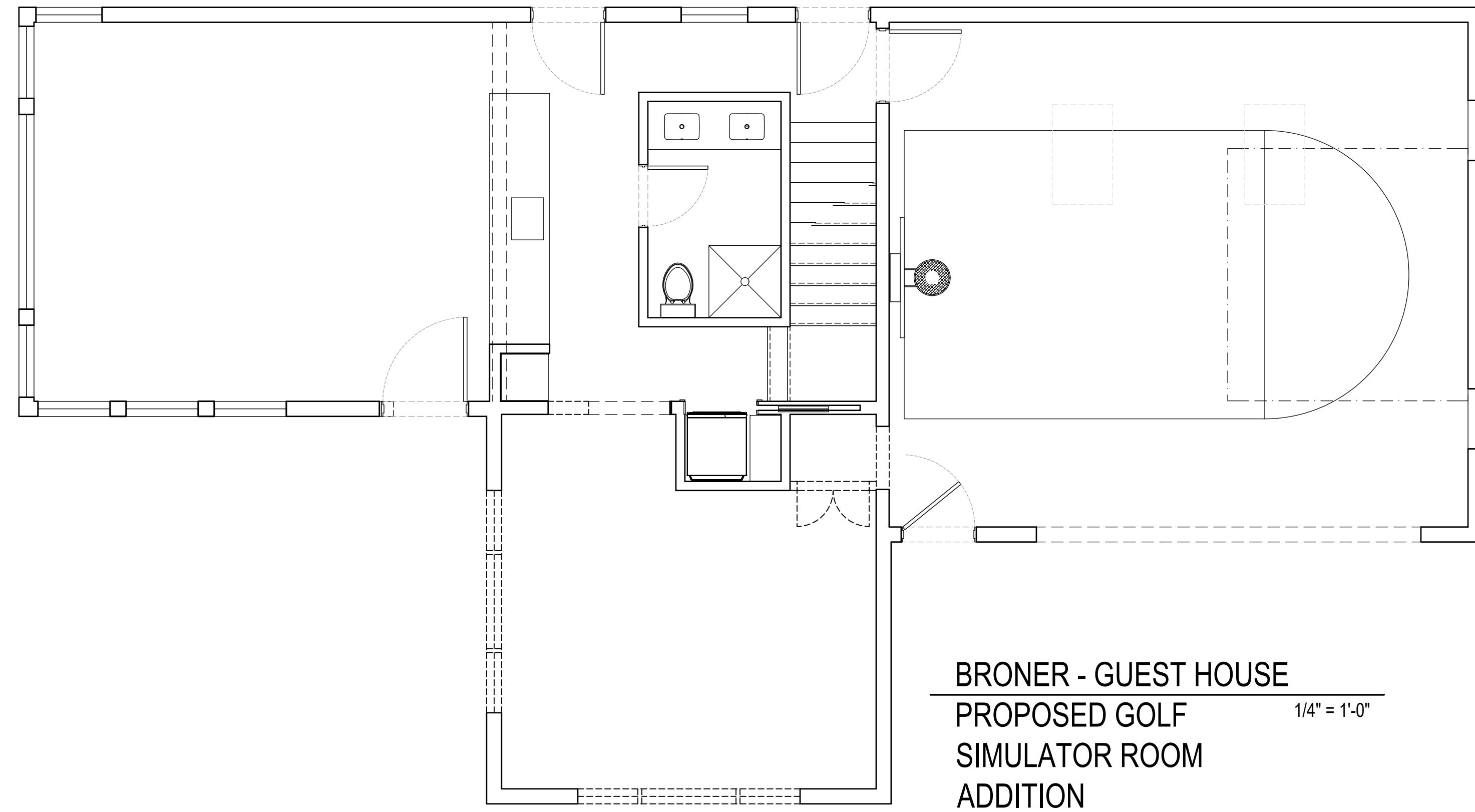
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FROM THE OFFICE OF:
LAMB KIEFER LAND SURVEYORS
(SALISBURY, CONNECTICUT)
MAP NOT VALID WITHOUT A LIVE SIGNATURE
AND EMBOSSED SEAL



Architect :

KEVIN WOLFE ARCHITECT, PC
 337 Kenmore Road, Douglas Manor, NY
 Tel: 516.732.6961

NO.	DATE	REVISIONS
2	9-15-25	ISSUED FOR CONSTRUCTION
1	8-15-25	ISSUED FOR PERMIT

CONSTRUCTION SET

PROJECT:

BRONER RESIDENCE

117 INTERLACKEN RD
 LAKEVILLE, CT

Dwg. Title

EXISTING AND PROPOSED
 FIRST FLOOR PLAN

Seal & Signature

Date: 08-15-25

Project No.:

Drawing by: ASP

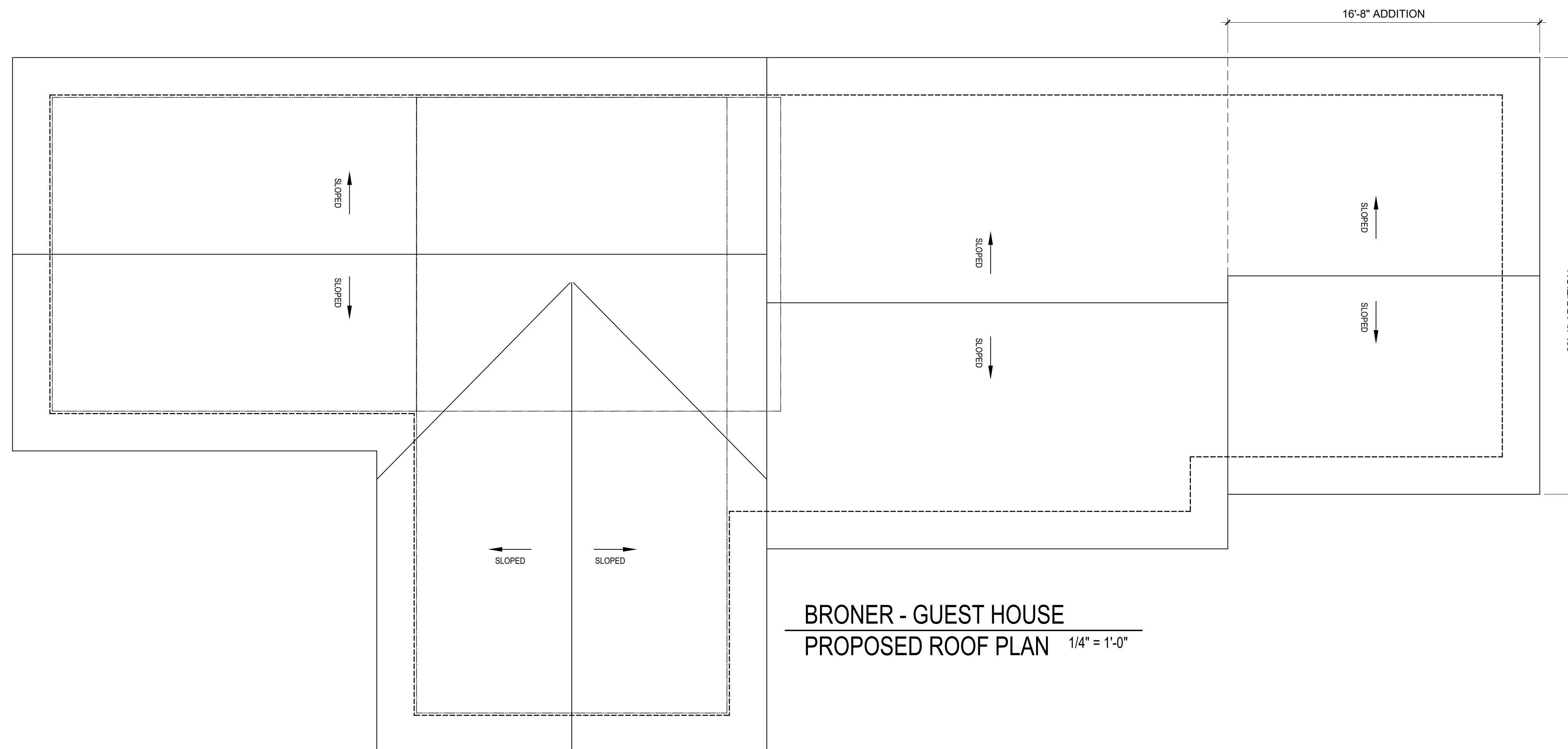
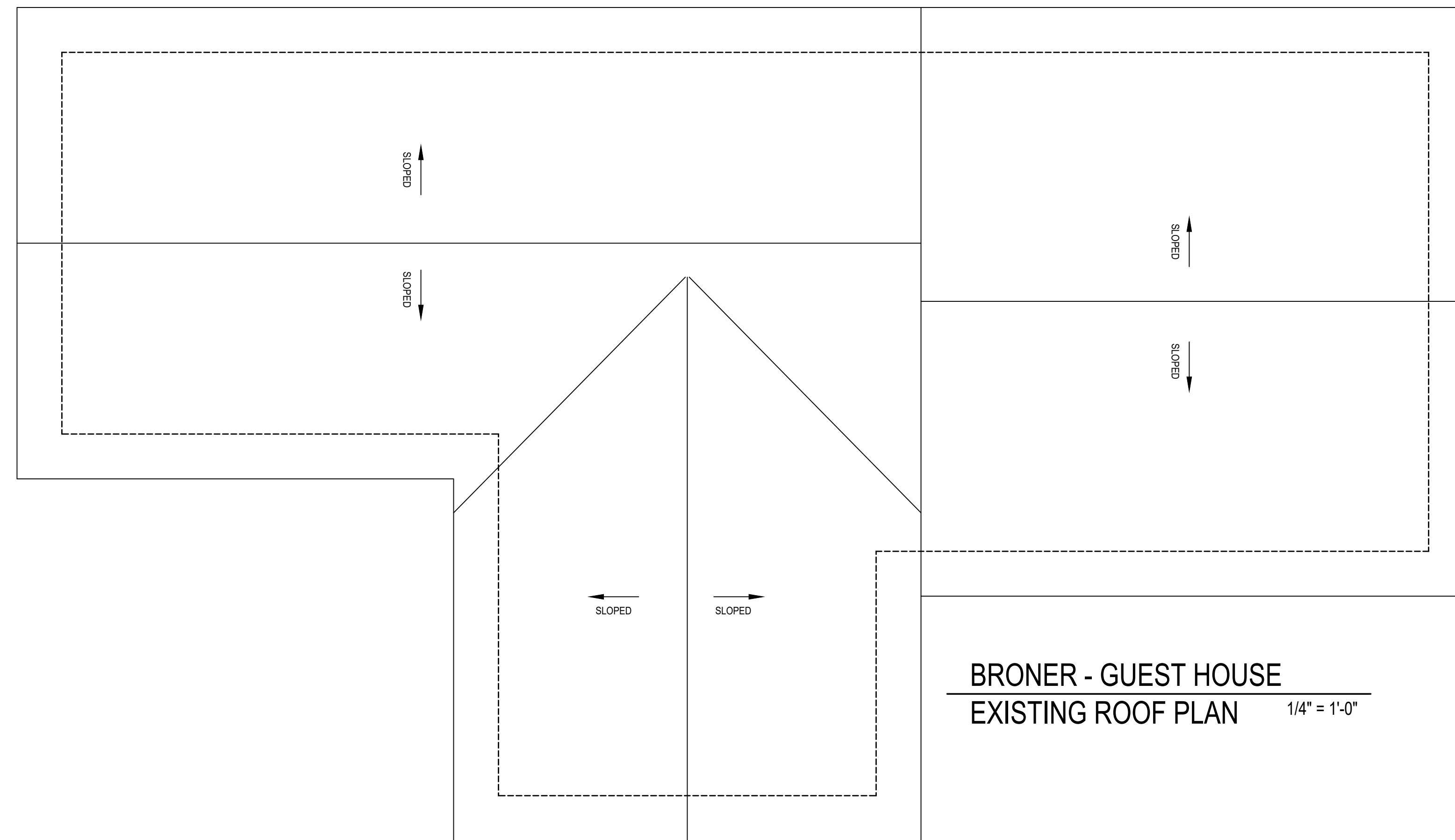
Checked by: KW

Dwg. No.

GA-101.00

Cadfile:

CONDOS-GUEST-PLANS-ELEVS-RR



Architect :

KEVIN WOLFE ARCHITECT, PC

337 Kenmore Road, Douglas Manor, NY

Tel: 516.732.6961

NO.	DATE	REVISIONS
2	9-15-25	ISSUED FOR CONSTRUCTION
1	8-15-25	ISSUED FOR PERMIT

CONSTRUCTION SET

PROJECT:

BRONER RESIDENCE

117 INTERLACKEN RD
LAKEVILLE, CT

Dwg. Title

EXISTING AND PROPOSED ROOF PLAN

Seal & Signature

Date: 08-15-25

Project No.:

Drawing by: ASP

Checked by: KW

Dwg. No.

GA-103.00

Cadfile:

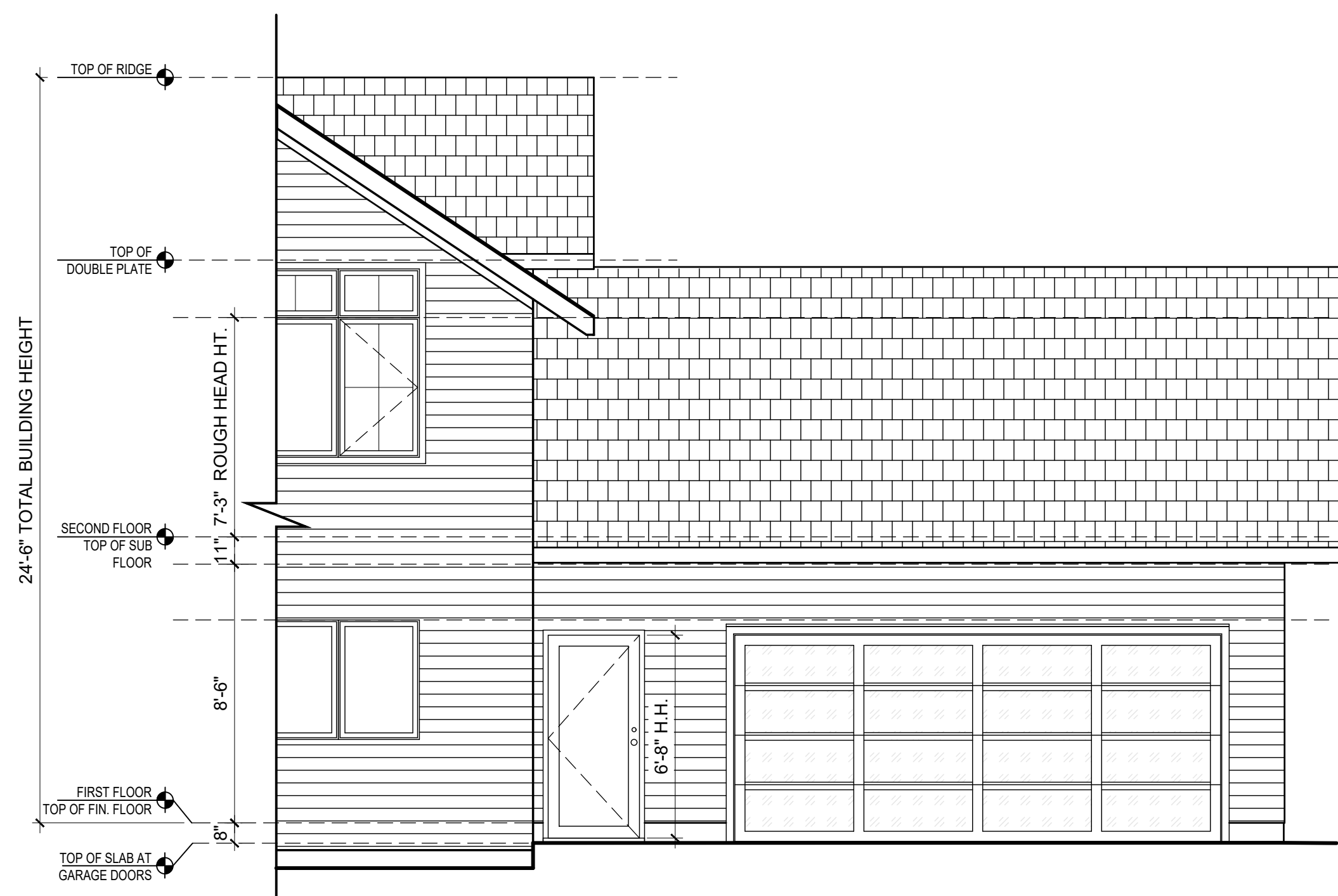
C:\CONDOCS-GUEST-PLANS-ELEVS-RR

Architect:

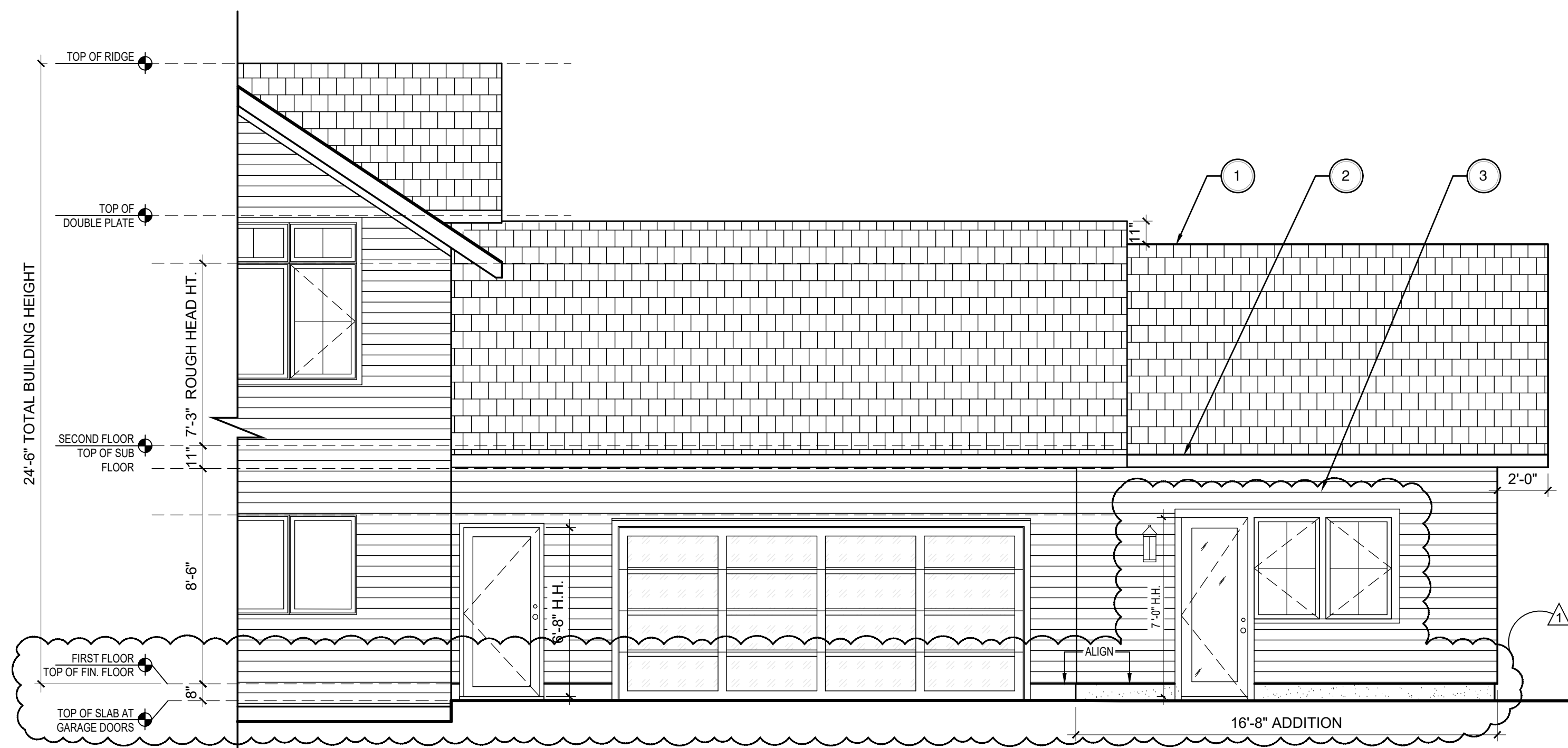
KEVIN WOLFE ARCHITECT, PC

337 Kenmore Road, Douglas Manor, NY

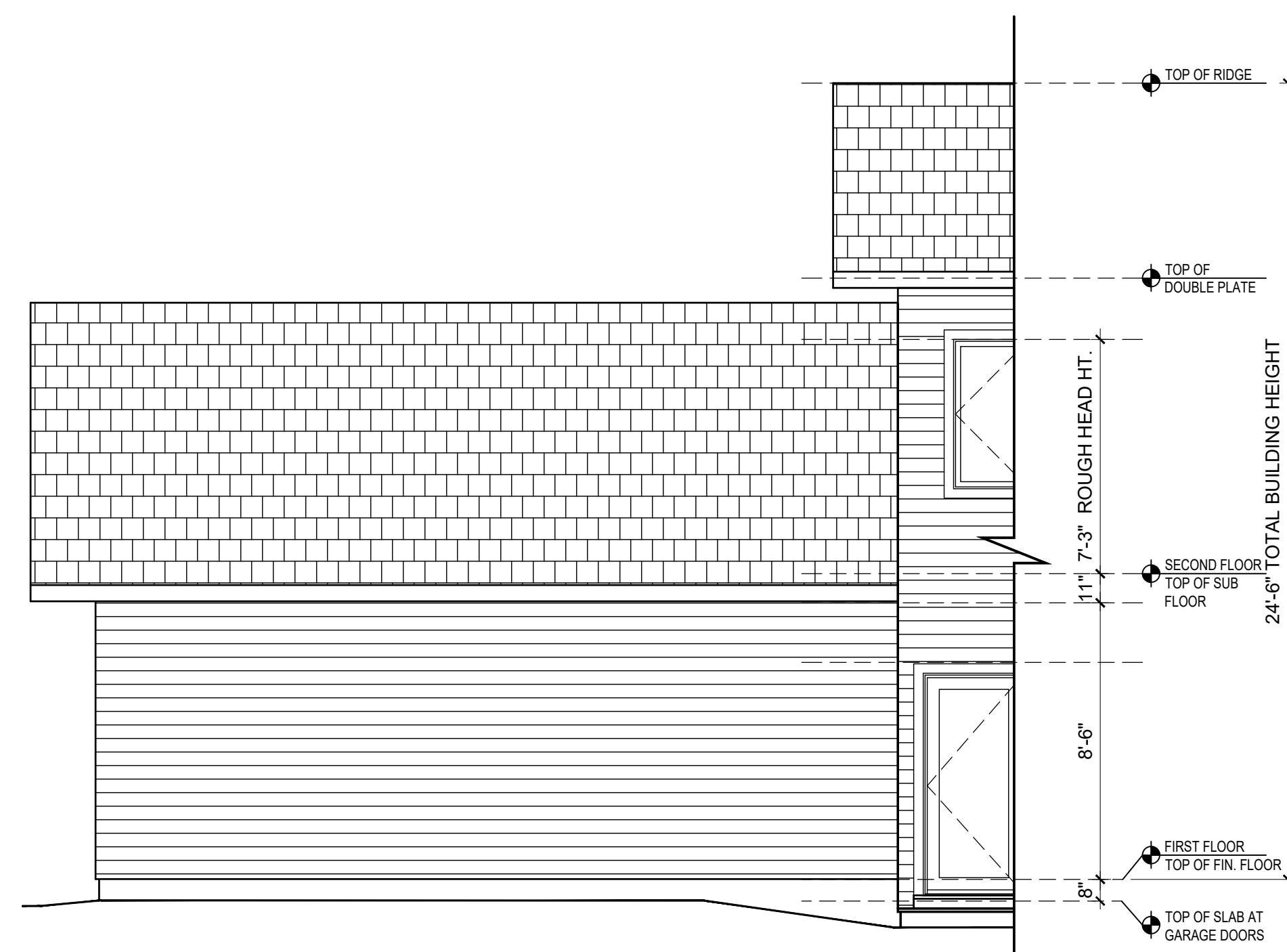
Tel: 516.732.6961



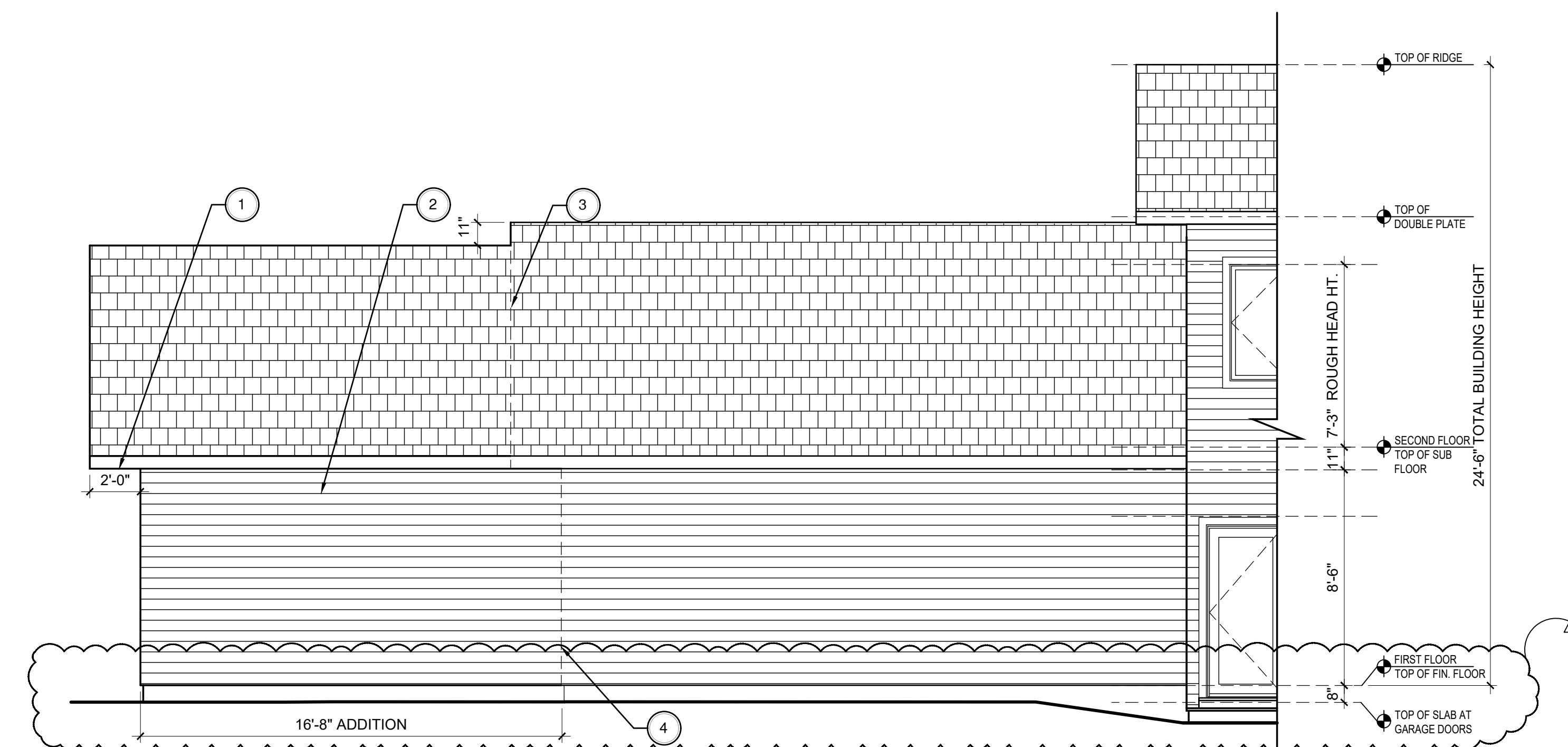
BRONER - GUEST HOUSE
EXISTING WEST ELEVATION (PARTIAL) 1/4" = 1'-0"



BRONER - GUEST HOUSE
PROPOSED WEST ELEVATION (PARTIAL) 1/4" = 1'-0"



BRONER - GUEST HOUSE
EXISTING EAST ELEVATION (PARTIAL) 1/4" = 1'-0"



BRONER - GUEST HOUSE
PROPOSED EAST ELEVATION (PARTIAL) 1/4" = 1'-0"

NO.	DATE	REVISIONS
1	8-15-25	ISSUED FOR PERMIT
2	9-15-25	ISSUED FOR CONSTRUCTION
3	12-08-25	REVISIONS

CONSTRUCTION SET

PROJECT:

BRONER RESIDENCE

117 INTERLACKEN RD
LAKEVILLE, CT

Dwg. Title

EXISTING AND PROPOSED
WEST & EAST ELEVATIONS
(PARTIAL)

Scale & Signature

Date: 08-15-25

Project No.:

Drawing by: ASP

Checked by: KW

Dwg. No.

GA-200.00

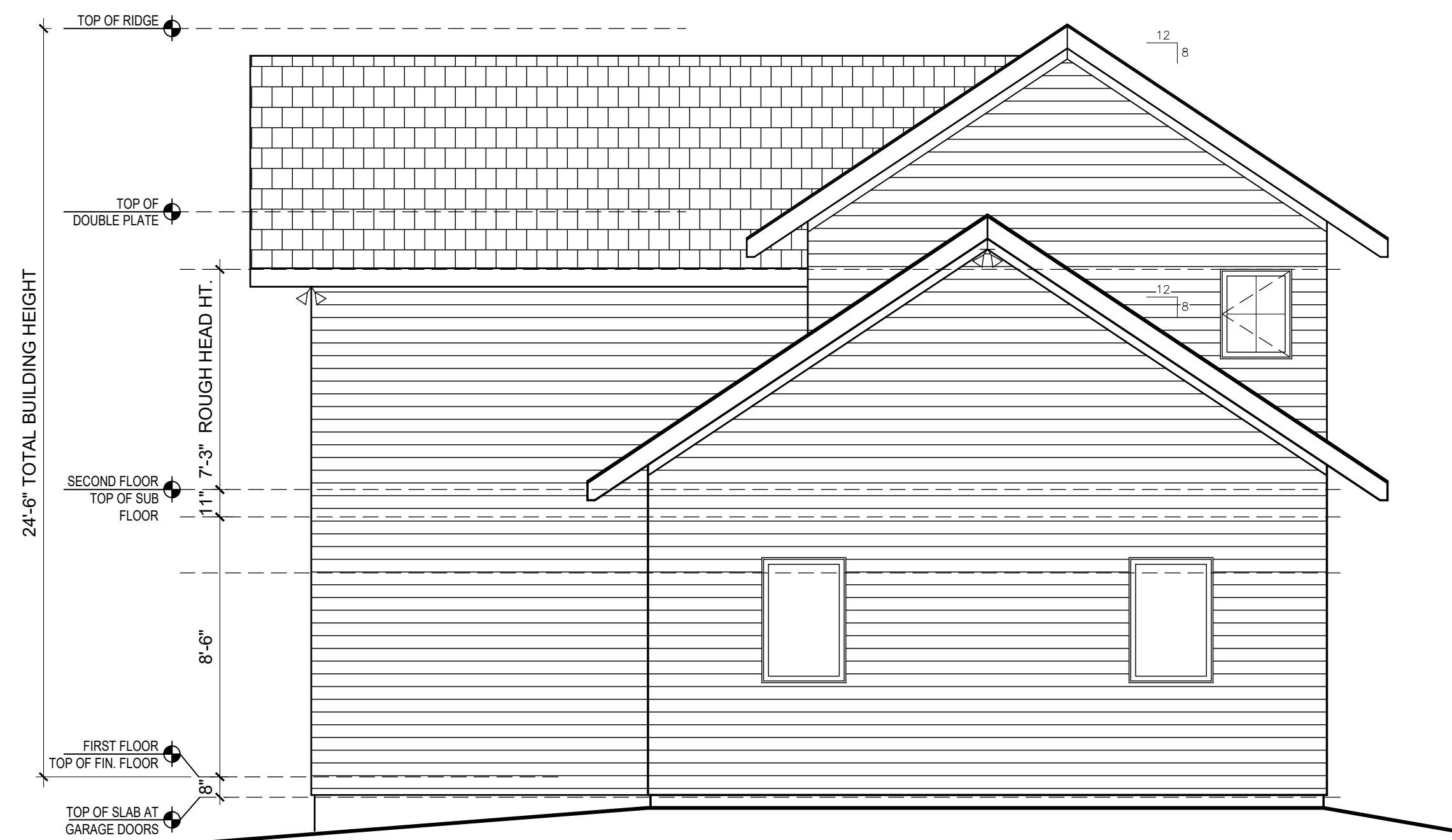
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CONDOS-GUEST-PLANS-ELEVS-RR

Architect :

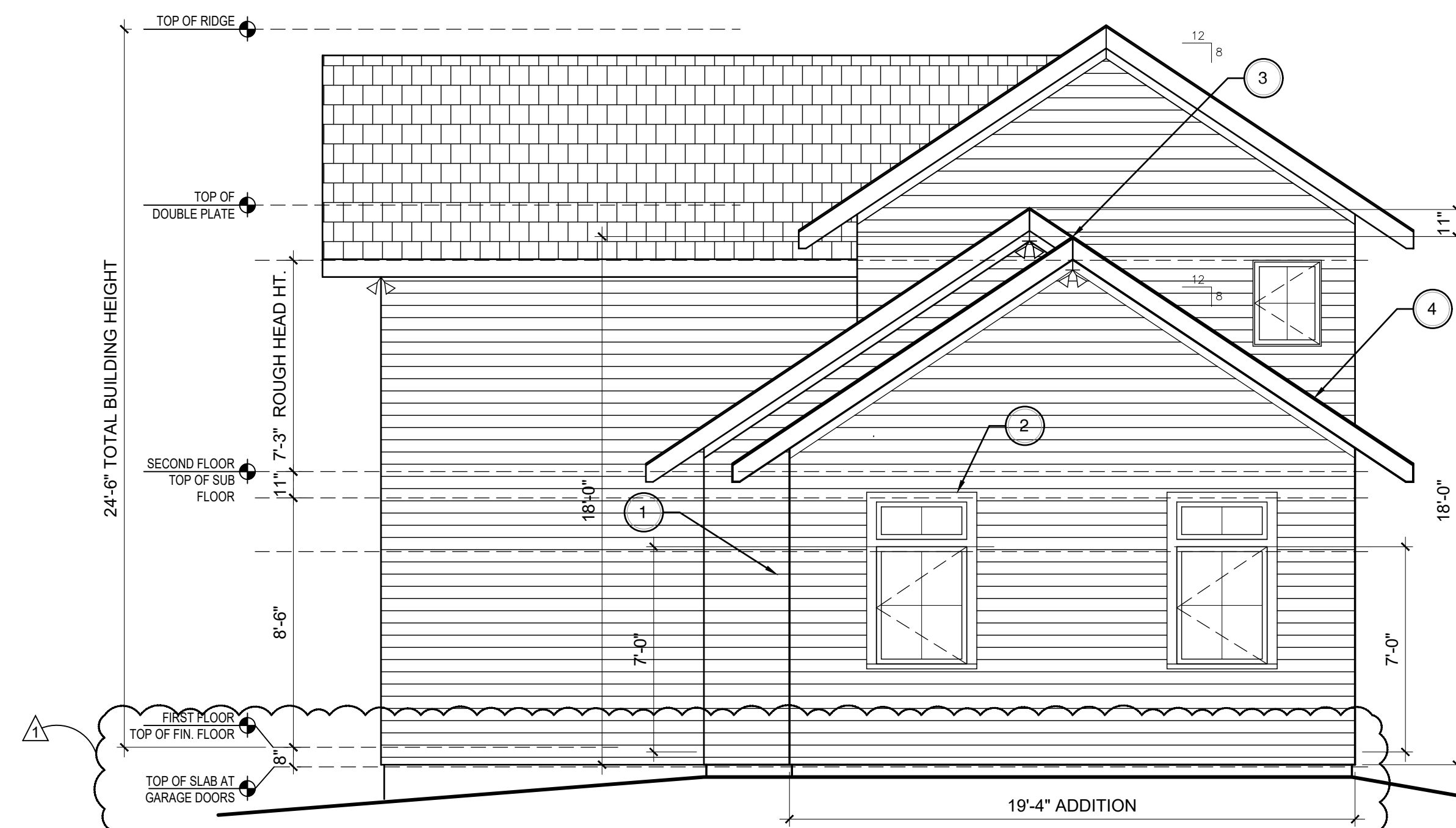
KEVIN WOLFE ARCHITECT, PC

337 Kenmore Road, Douglas Manor, NY

Tel: 516.732.6961

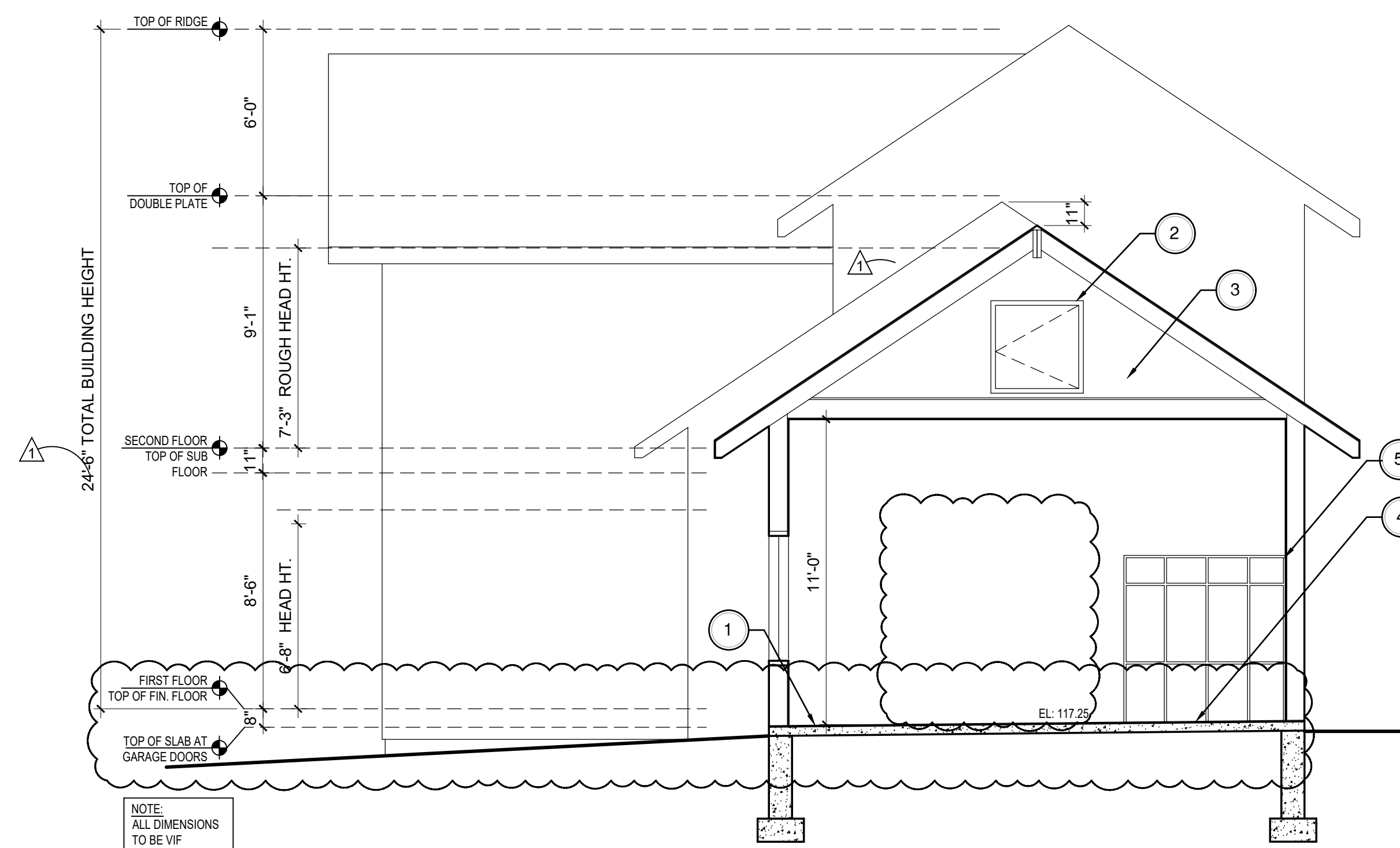


BRONER - GUEST HOUSE
EXISTING SOUTH ELEVATION 1/4" = 1'-0"



BRONER - GUEST HOUSE
PROPOSED SOUTH ELEVATION 1/4" = 1'-0"

PROPOSED SECTION	
KEYNOTE	CONSTRUCTION NOTES
1	SIDING @ ADDITION TO MATCH EXISTING
2	COPPER DRIP CAPS @ ALL NEW WINDOWS & DOORS
3	ROOF ADDITION TO ALIGN W/ SCOPE OF EXISTING
4	ROOF SHINGLES @ ADDITION TO MATCH EXISTING



BRONER - GUEST HOUSE
SECTION - SOUTH ELEVATION 1/4" = 1'-0"

PROPOSED SECTION	
KEYNOTE	CONSTRUCTION NOTES
1	GOLF ROOM FLOOR ELEV. = GARAGE FLOOR EL. 117.25
2	3'-0" x 3'-0" ATTIC HATCH OPENS INTO GARAGE
3	ATTIC STORAGE
4	SEE STRUCTURAL DWGS FOR SLAB & FOOTINGS (BY OTHERS)
5	GOLF BAG & EQUIPMENT STORAGE TO BE COORDINATED W/ OWNER

NO.	DATE	REVISIONS
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1	8-15-25	ISSUED FOR PERMIT

CONSTRUCTION SET

PROJECT:

BRONER RESIDENCE

117 INTERLACKEN RD
LAKEVILLE, CT

Dwg. Title

EXISTING AND PROPOSED SOUTH ELEVATION / SECTION

Scale & Signature

Date: 08-15-25

Project No.:

Drawing by: ASP

Checked by: KW

Dwg. No.

GA-201.00

Cadfile:

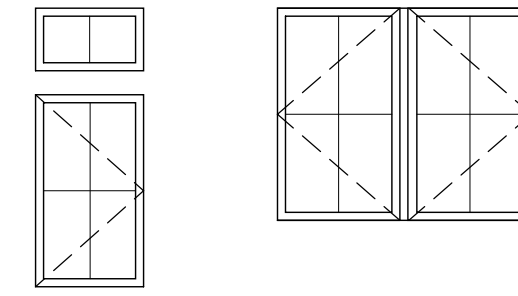
CONDOS-GUEST-PLANS-ELEVS-PR

Architect :

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337 Kenmore Road, Douglas Manor, NY

Tel: 516.732.6961



TYPE 'G'
TRANSOMS TO
BE FIELD MULLIED

TYPE 'E'

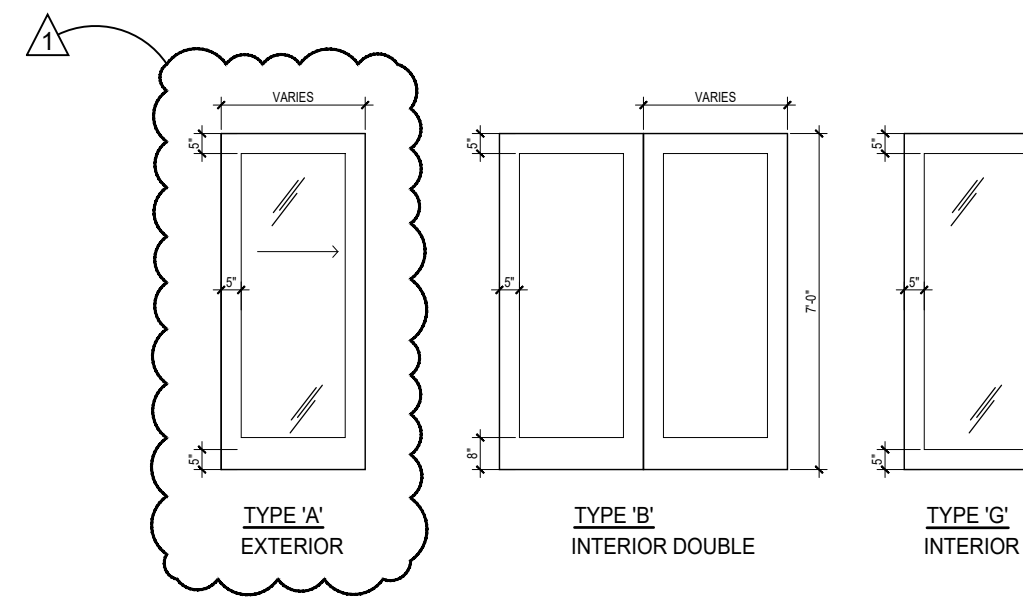
WINDOWS SCHEDULE - GUEST HOUSE

1ST FLOOR

NO.	LOCATION	OPENING SIZE (VIF)		MATERIAL		TYPE	MARVIN WINDOW NUMBER	REMARKS
		WIDTH	HEIGHT	INTERIOR	EXTERIOR			
101	GOLF ROOM	3'-1"	3'-11 5/8"	WOOD	ALUMINUM	A	CUCA2432	SALVAGED / MAIN HOUSE DEN
101-T	GOLF ROOM	3'-1"	1'-3 5/8"	WOOD	ALUMINUM	A	CUCAWN3616	SALVAGED / MAIN HOUSE DEN
102	GOLF ROOM	3'-1"	3'-11 5/8"	WOOD	ALUMINUM	A	CUCA2432	SALVAGED / MAIN HOUSE DEN
102-T	GOLF ROOM	3'-1"	1'-3 5/8"	WOOD	ALUMINUM	A	CUCAWN3616	SALVAGED / MAIN HOUSE DEN
103	GOLF ROOM	2'-7"	4'-5 5/8"	WOOD	ALUMINUM	A	CUCA3054E	
104	GOLF ROOM	2'-7"	4'-5 5/8"	WOOD	ALUMINUM	A	CUCA3054E	

NOTE:
ALL WINDOWS ARE MARVIN. WINDOWS ARE PRE-PRIMED WOOD INSIDE AND ALUMINUM CLAD OUTSIDE. COLOR TO MATCH EXISTING WINDOWS, WITH INSULATED LOW E GLASS, OIL RUBBED BRONZE HARDWARE TO MATCH EXISTING.
WINDOWS SCREENS ARE PINE TO BE PAINTED THE TRIM COLOR, WITH "BRIGHT BRONZE" INSECT SCREENS.
GENERAL CONTRACTOR TO VIF ALL WINDOW SIZES BEFORE ORDERING. SUBMIT SHOP DRAWINGS FOR ALL WINDOWS AND DOORS PRIOR TO ORDERING ANY ITEM FOR ARCHITECT'S REVIEW.

NOTE:
1) ALL NEW WINDOW OPENINGS AT GUEST HOUSE GYM TO HAVE 5 INCH CASINGS WITH A ONE INCH BACKBAND TO MATCH EXISTING CASINGS EXACTLY
2) ALL NEW WINDOW OPENINGS AT THE GOLF ROOM ADDITION TO HAVE 4 INCH FLAT STOCK CASINGS



TYPE 'A'
EXTERIOR

TYPE 'B'
INTERIOR DOUBLE

TYPE 'G'
INTERIOR

DOOR SCHEDULE - GUEST HOUSE

1ST FLOOR

NO.	LOCATION	SIZE (VIF)		FINISH	TYPE	DOOR #	REMARKS
		W	H				
D101	GYM	3'-0"	7'-0"	WOOD	B		
D102	GYM	3'-1"	7'-0"	STEEL	G		FIRE RATED, TO CODE
D103	GOLF ROOM	2'-10"	7'-0"	ALUM CLAD	A	2866	

NOTE:
EXTERIOR DOOR IS MARVIN. PRE-PRIMED WOOD INSIDE AND ALUMINUM CLAD OUTSIDE. COLOR TO MATCH EXISTING DOORS AND WINDOWS, WITH INSULATED LOW E GLASS, OIL RUBBED BRONZE HARDWARE TO MATCH EXISTING HOUSE.
ALL INTERIOR DOORS ARE BY UPSTATE DOOR AND ARE PRE-PRIMED, WITH OIL RUBBED BRONZE HARDWARE TO MATCH EXISTING (SEE SPEC)
GENERAL CONTRACTOR TO VIF ALL DOOR SIZES BEFORE ORDERING. SUBMIT SHOP DRAWINGS FOR ALL DOORS FOR ARCHITECT'S REVIEW PRIOR TO ORDERING ANY ITEM.

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NO.	DATE	REVISIONS
2	9-15-25	ISSUED FOR CONSTRUCTION
1	8-15-25	ISSUED FOR PERMIT

CONSTRUCTION SET

PROJECT:

**BRONER
RESIDENCE**

117 INTERLACKEN RD
LAKEVILLE, CT

Dwg. Title

**WINDOW & DOOR
SCHEDULES**

Scale & Signature

Date: 08-15-25

Project No.:

Drawing by: ASP

Checked by: KW

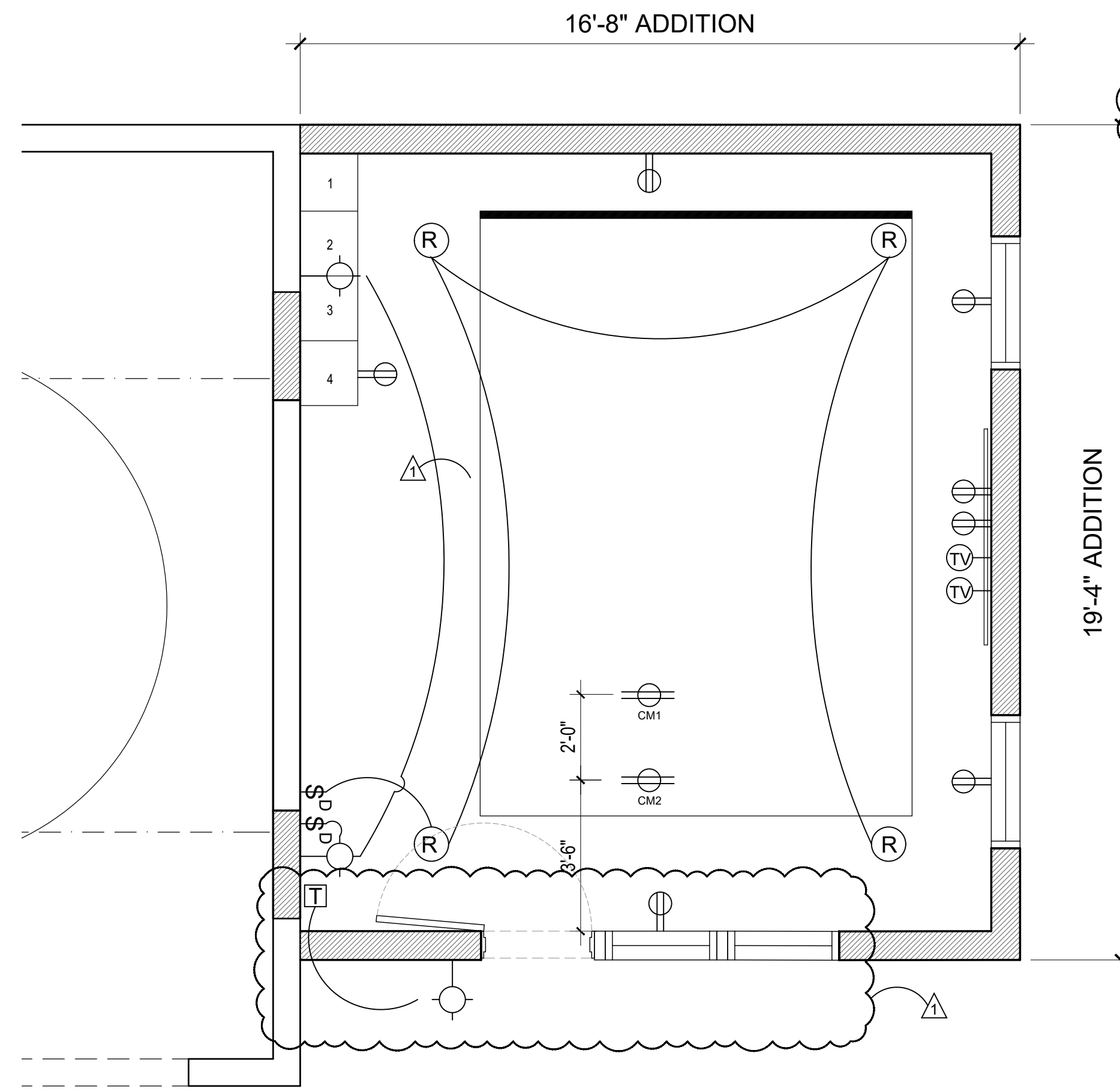
Dwg. No.

GA-400.00

Cadfile:

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LEGEND	
\$	SWITCH
⊖	DUPLEX RECEPTACLE
⊖ CM1	CEILING MOUNT - LAUNCH MONITOR
⊖ CM2	CEILING MOUNT - PROJECTOR
⊖ R	RECESSED CEILING LIGHT
⊖	WALL SCENCE
⊖	TV
T	TIMER



BRONER - GUEST HOUSE
PROPOSED ELECTRICAL 3/8" = 1'-0"

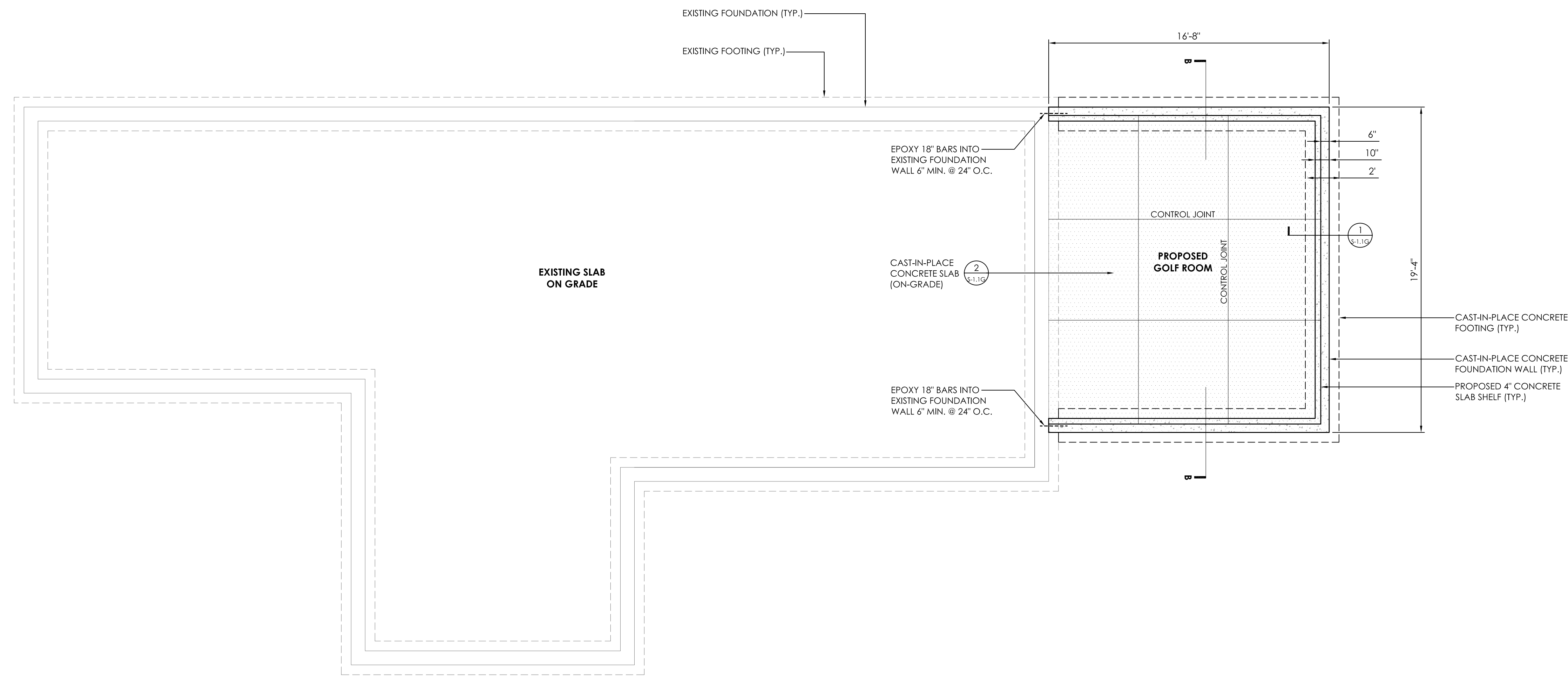
NO.	DATE	REVISIONS
2	9-15-25	ISSUED FOR CONSTRUCTION
1	8-15-25	ISSUED FOR PERMIT

CONSTRUCTION SET

PROJECT:
BRONER RESIDENCE
 117 INTERLACKEN RD
 LAKEVILLE, CT

Dwg. Title
PROPOSED ELECTRICAL PLANS

Scale & Signature
 Date: 08-15-25
 Project No.:
 Drawing by: ASP
 Checked by: KW
 Dwg. No.
GE-100.00



GENERAL CONCRETE NOTES

1. FOOTINGS ARE INTENDED TO BEAR ON UNDISTURBED MATERIAL. CONTRACTOR SHALL NOTIFY THE ENGINEER WHERE PROPOSED FOOTING ELEVATIONS WOULD BEAR ON UNSUITABLE MATERIAL AND PROCEED ONLY AS DIRECTED. THE TOP OF ALL FOOTINGS SHALL BE A MINIMUM OF 3'-6" BELOW FINISHED GRADE.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, QUANTITIES, AND DETAILS.
3. DO NOT SCALE DRAWINGS IN PLACE OF FIELD MEASUREMENTS.
4. MATERIALS:
 - BASE COURSE AGGREGATE: GRADED COURSE AND FINE AGGREGATES CONFORMING TO CTDOT SPECIFICATION SECTION M.2.03, GRADE C, IN ALL APPLICABLE RESPECTS.
 - VAPOR BARRIER: 10 MIL CO-EXTRUDED POLYOLEFIN VAPOR BARRIER 'VAPORBLOCK 10' AS MANUFACTURED BY RAVEN INDUSTRIES OR APPROVED EQUAL. VAPOR BARRIER SHALL LAP 12" MIN. AND BE TURNED UP AT THE SLAB EDGE AND ALL PENETRATIONS.
 - RIGID FOAM INSULATION: 2" THICK EXTRUDED POLYSTYRENE (XPS) RIGID FOAM BOARD INSULATION.
 - REINFORCEMENT FABRIC: PLAIN STEEL, WELDED WIRE FABRIC IN ACCORDANCE WITH ASTM A185 AND A82.
 - REINFORCEMENT BARS: DEFORMED STEEL BARS IN ACCORDANCE WITH ASTM A615, GRADE 60.
 - CAST-IN-PLACE CONCRETE: AIR-ENTRAINED CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT TWENTY-EIGHT (28) DAYS. COLOR OF CONCRETE TO BE LIGHT GRAY.
 - EXPANSION JOINT FILLER: PREFORMED, SELF-EXPANDING, NON-IMPREGNATED CORK FILLER IN ACCORDANCE WITH ASTM D1752, TYPE II; FEDERAL SPECIFICATION HH-F-3451, TYPE II, CLASS B.
 - BACKER ROD: EXTRUDED, NON-IMPREGNATED CLOSED CELL POLYETHYLENE. DIAMETER TO BE ONE-QUARTER INCH (1/4") LARGER THAN JOINT WIDTH.
 - SEALANT PRIMER: SINGLE COMPONENT, MOISTURE-CURING POLYURETHANE.
 - SEALANT: SELF-LEVELING, TRAFFIC GRADE, MULTI-COMPONENT POLYURETHANE, CUSTOM-COLORED, MEETING U.S. FEDERAL SPECIFICATION TT-S000227E, TYPE 1, CLASS A AND IN ACCORDANCE WITH ASTM C920, TYPE M, GRADE P, CLASS 25. COLOR OF SEALANT TO MATCH COLOR OF CONCRETE SLAB.
5. OVER A PROPERLY EXCAVATED AND PREPARED SUBGRADE INSTALL COMPACTED AGGREGATE BASE COURSE, CONCRETE FOOTINGS, AND CONCRETE SLAB WHERE NOTED AND AS DETAILED ON DRAWINGS. INSTALL BASE COURSE, CONCRETE, AND REINFORCEMENT TO THE REQUIRED LINE, GRADE, AND CROSS SECTION. INSTALL REINFORCEMENT FABRIC AND BARS ON CHAIRS OR MASONRY BLOCKS. DO NOT PLACE REINFORCEMENT FABRIC AND BARS DIRECTLY ON TOP OF THE BASE COURSE OR RAISE REINFORCEMENT BY HAND AFTER CONCRETE HAS BEEN PLACED.
6. ADEQUATELY PROTECT THE ENTIRE EXPOSED SURFACE AREAS AND COVER THE CONCRETE. MAINTAIN SURFACE MOISTURE AND CURE FOR AT LEAST FIVE (5) DAYS.
7. DO NOT INSTALL CONCRETE WHEN AMBIENT AIR TEMPERATURES ARE BELOW 32°F OR ABOVE 90°F.
8. CONCRETE SLAB TO HAVE A FLOAT FINISH.
9. PROVIDE CONTROL (SAW-CUT 1-1/2" DEEP) AND EXPANSION JOINTS WHERE NOTED ON DRAWINGS.
10. CLEAN SMOOTH ALL EXPOSED CONCRETE SURFACES OF THE FOUNDATION WALL.
11. CONSOLIDATE CONCRETE TO MAXIMUM DENSITY BY USING INTERNAL VIBRATION.
12. REFER TO SHEET S-1.1 FOR FOUNDATION AND FOOTING DETAILS.
13. VERIFY ALL DIMENSIONS WITH ARCHITECTURAL PLANS BEFORE BEGINNING CONCRETE WORK.
14. COORDINATE WITH MEP PLANS TO PROVIDE WALL SLEEVES AS REQUIRED.

SEA

AEFA
 Allied Engineering Assoc. Inc.
 95 Main St., 3rd Fl. East
 P.O. Box 770, North Coventry, CT 06018
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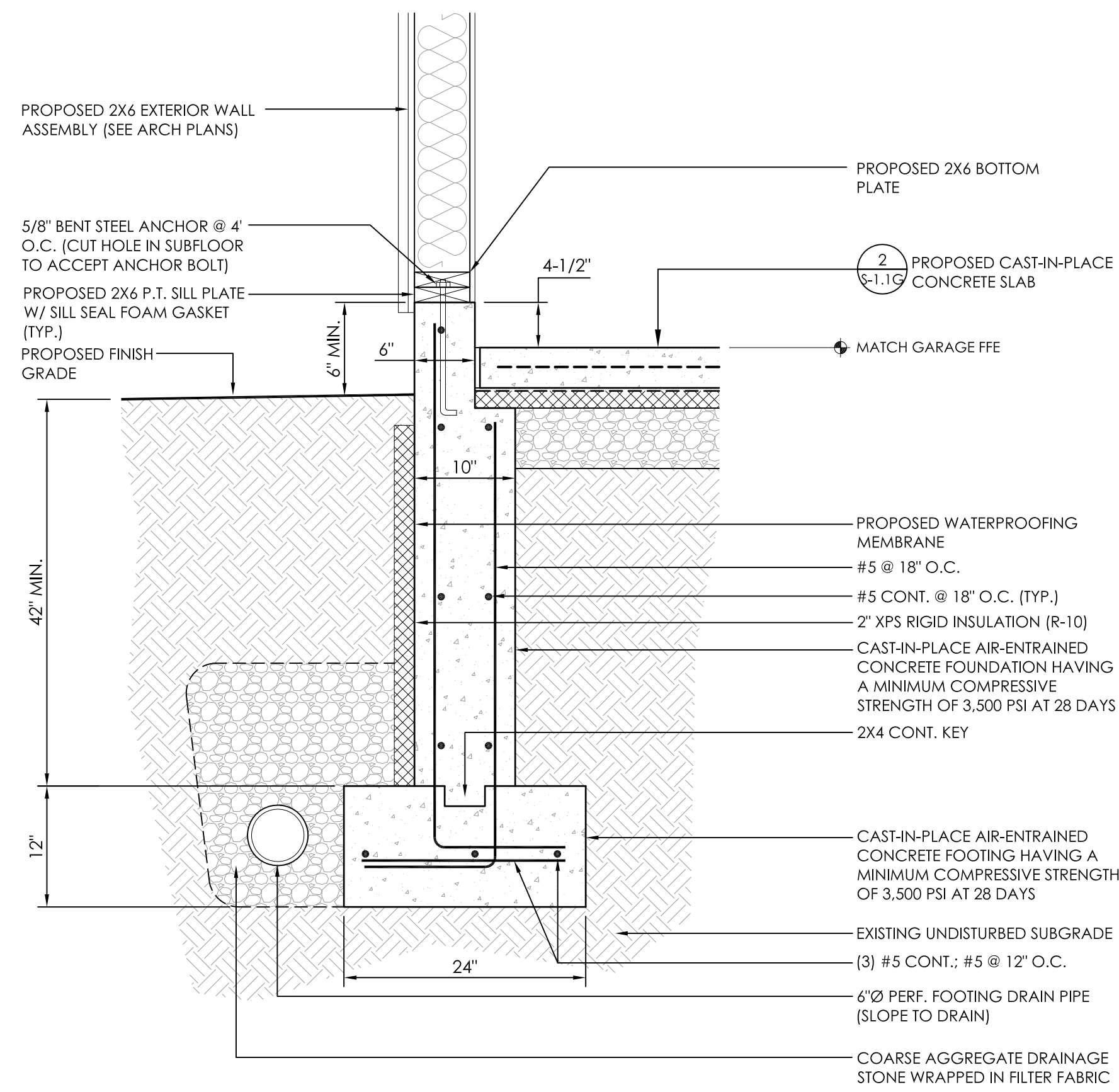
REVISIONS - DESCRIPTION - DATE - INITIAL

**BRONER RESIDENCE (GUEST HOUSE)
 PROPOSED FOUNDATION PLAN**
 PREPARED FOR:
 JAMES & MIRIAM BRONER
 117 INTERLAKEN ROAD
 LAKEVILLE, CT

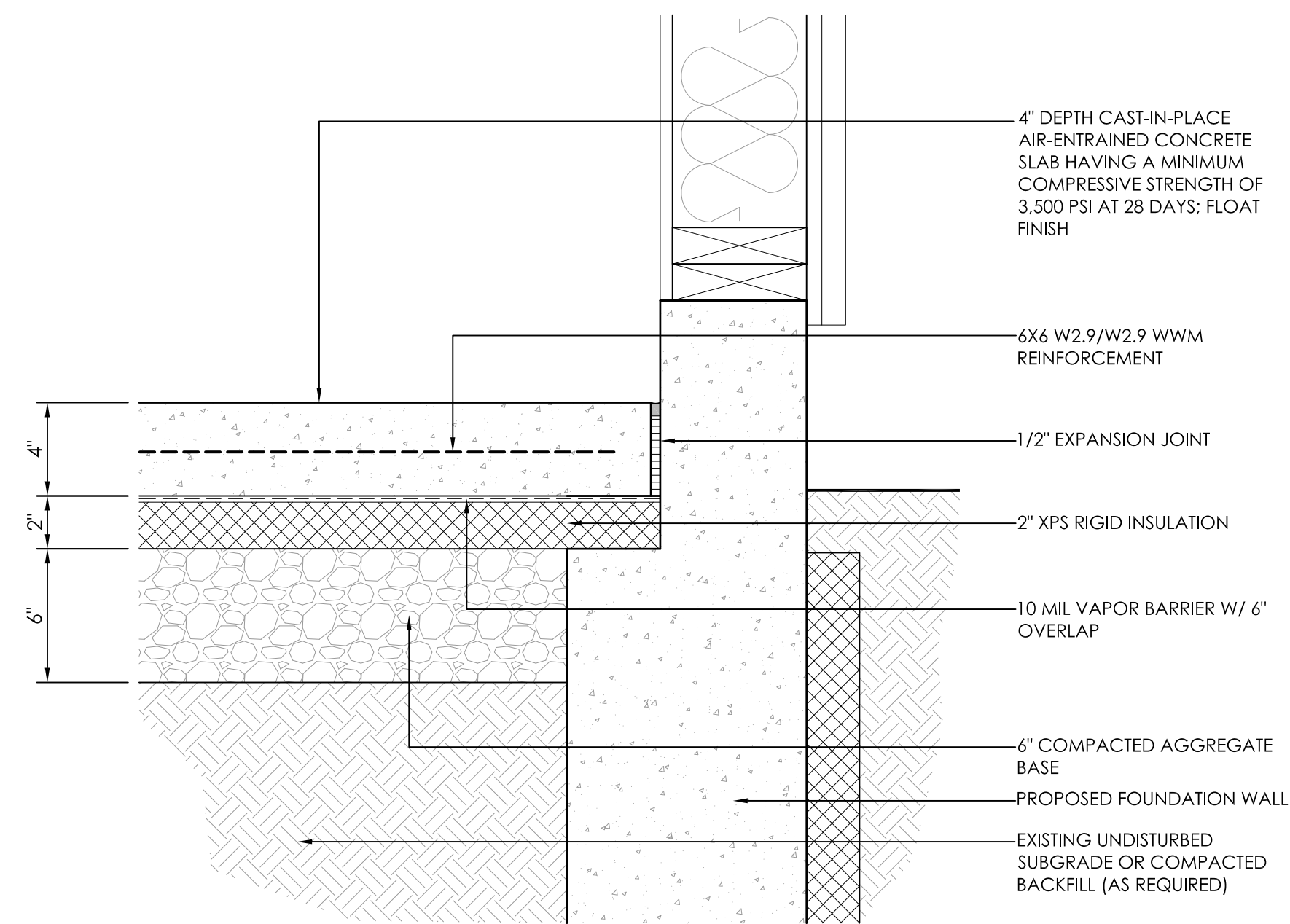
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 FILE NAME: 1163-STRUCTURAL 1
 DATE: 3/16/2026
 ISSUED FOR: PERMITTING

PROJECT NO. 1163

DRAWING NO. S-1G



1 CAST-IN-PLACE CONCRETE WALL
S-1.1G NOT TO SCALE



2 CAST-IN-PLACE CONCRETE SLAB
S-1.1G NOT TO SCALE

SEA

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aet.george@gmail.com

REVISIONS
NUMBER - DESCRIPTION - DATE - INITIAL

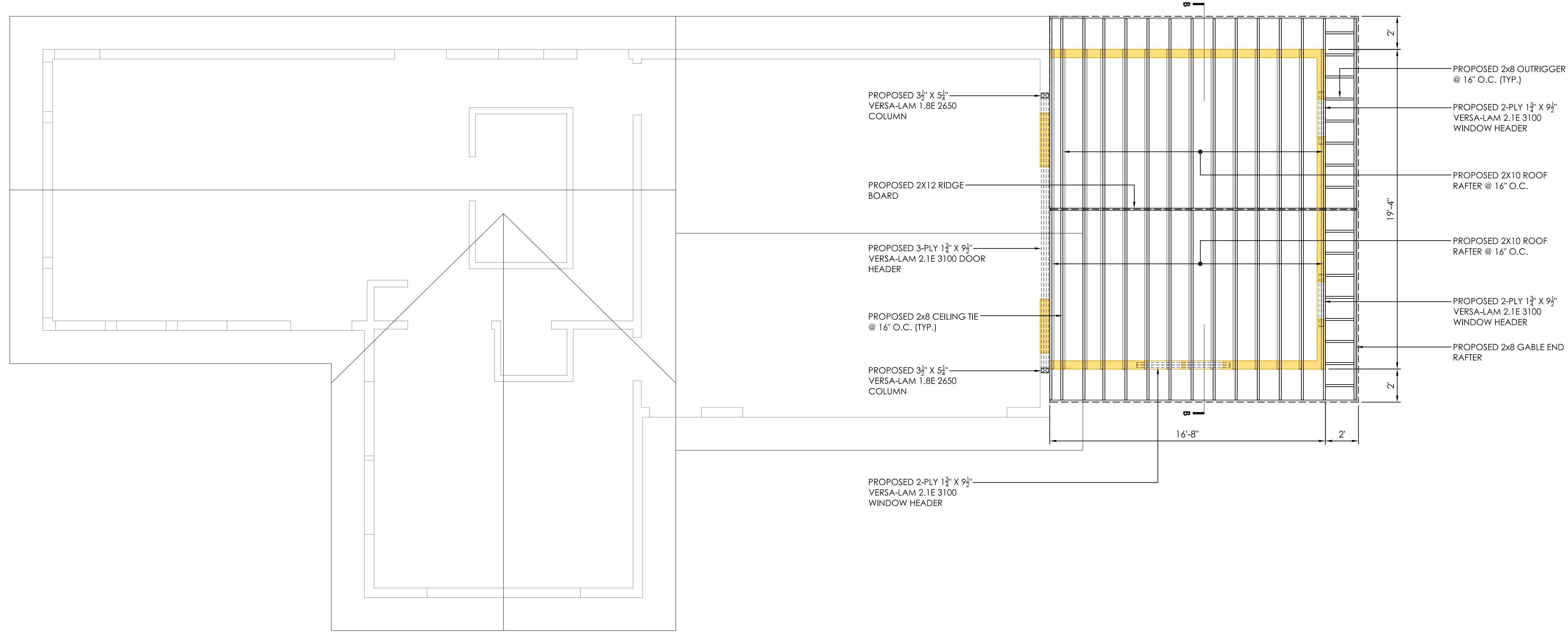
BRONER RESIDENCE (GUEST HOUSE)
PROPOSED FOUNDATION DETAILS
PREPARED FOR:
JAMES & MIRIAM BRONER
117 INTERLAKEN ROAD
LAKEVILLE, CT

SCALE: 1/4" = 1'-0"
FILE NAME: 1163-STRUCTURAL 1
DATE: 3/16/2026
ISSUED FOR: PERMITTING

PROJECT NO. 1163

DRAWING NO.

S-1.1G



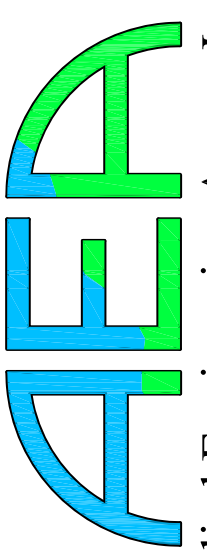
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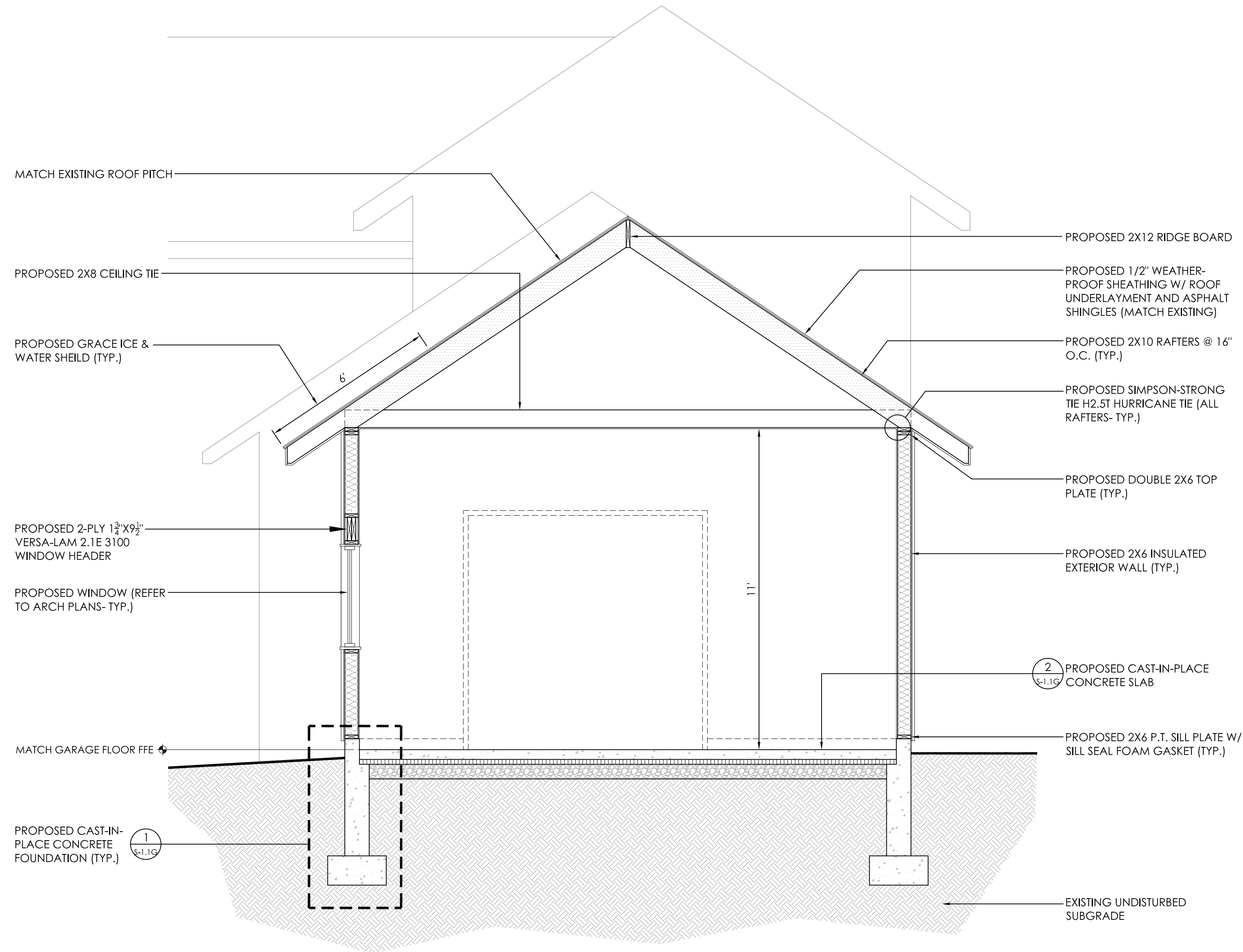
BRONER RESIDENCE (GUEST HOUSE)
 PROPOSED ROOF FRAMING PLAN
 PREPARED FOR:
 JAMES & MIRIAM BRONER
 117 INTERLAKEN ROAD
 LAKEVILLE, CT

SCALE: 1/4" = 1'-0"
 FILE NAME: 1163-STRUCTURAL 1
 DATE: 3/16/2026
 ISSUED FOR: PERMITTING

PROJECT NO. 1163

DRAWING NO. S-2G


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SEA

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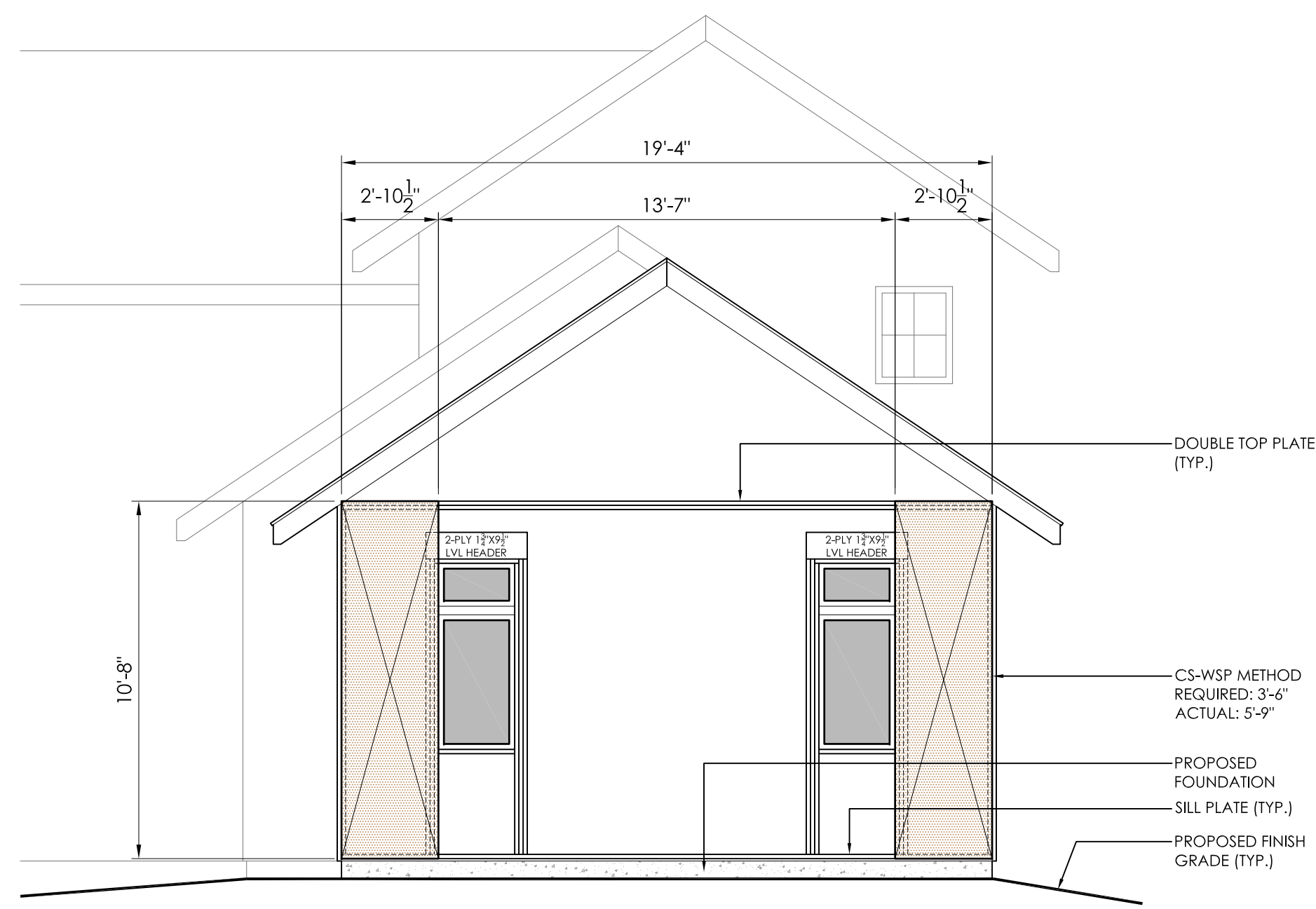
REVISIONS
 NUMBER - DESCRIPTION - DATE - INITIAL

BRONER RESIDENCE (GUEST HOUSE)
PROPOSED SECTION
 PREPARED FOR:
 JAMES & MIRIAM BRONER
 117 INTERLAKEN ROAD
 LAKEVILLE, CT

SCALE: 1/4" = 1'-0"
 FILE NAME: 1163-STRUCTURAL 1
 DATE: 3/16/2026
 ISSUED FOR: PERMITTING

PROJECT NO. 1163

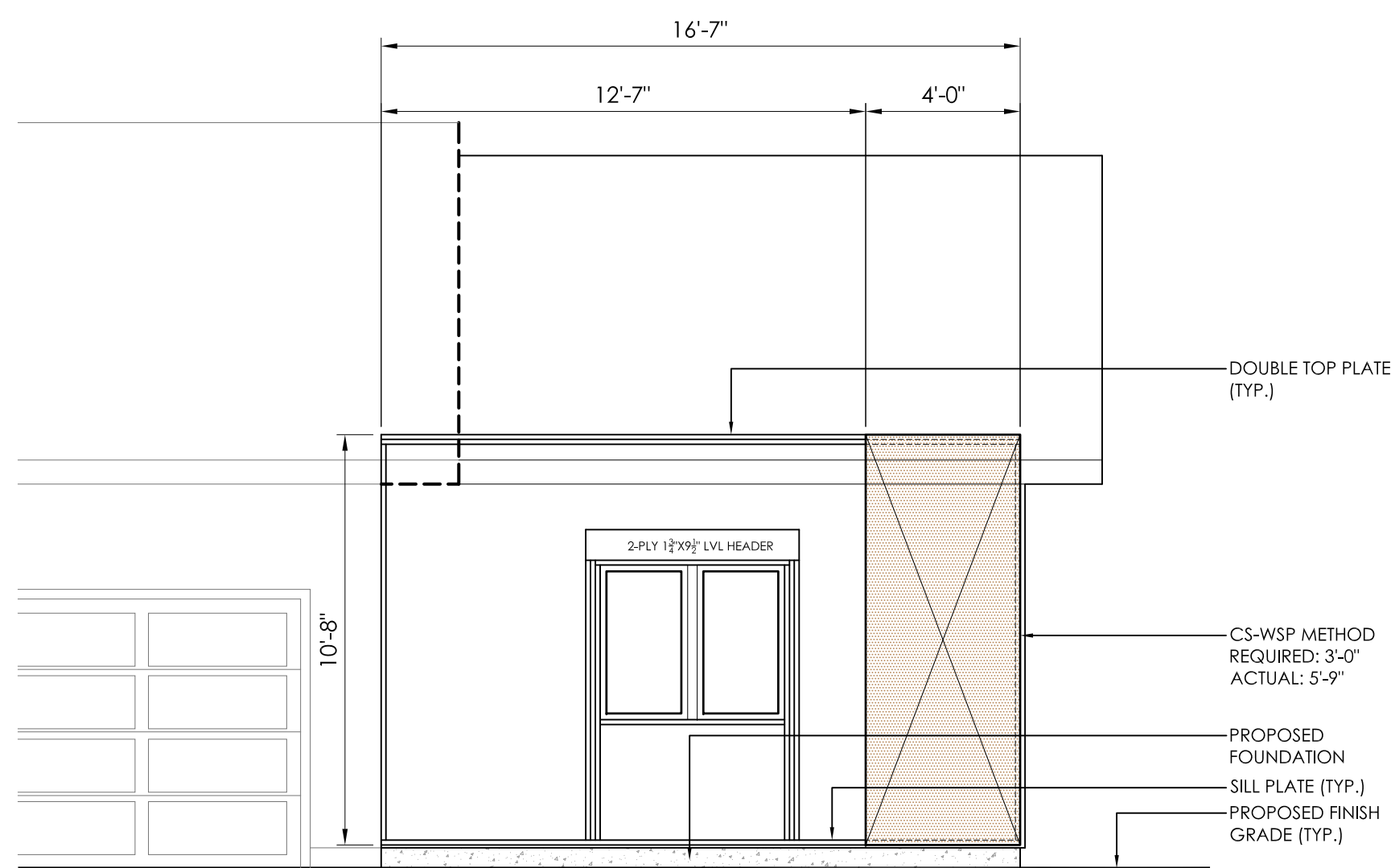
DRAWING NO. S-3G



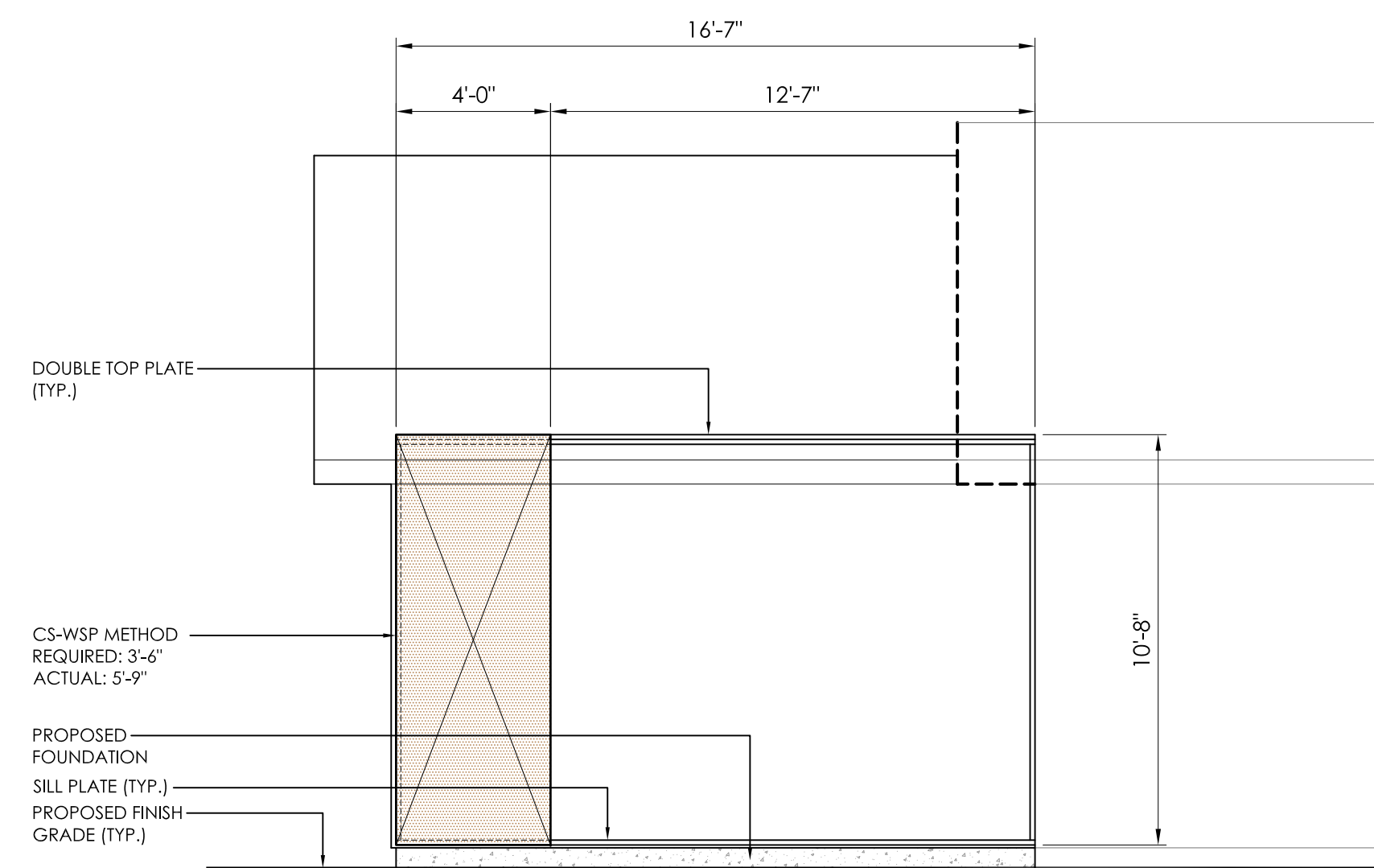
1 PROPOSED BRACING PLAN (SOUTH ELEVATION)
S-4G SCALE: 1/4"=1'-0"

GENERAL BRACING NOTES

1. EXTERIOR WALLS TO BE BRACED USING CONTINUOUS SHEATHING- WOOD STRUCTURAL PANEL METHOD (CS-WSP) UNLESS OTHERWISE NOTED. INTERIOR WALLS TO BE FULLY BRACED WITH 1/2" GYPSUM BOARD (MIN.).
2. WSP BOARDS TO BE LOCATED AND ORIENTED AT EXTERIOR WALLS AS SHOWN.
3. ALL PANELS SHOWN TO BE WSP UNLESS OTHERWISE NOTED.
4. WSP TO BE FASTENED TO EXTERIOR FRAMING USING 6D NAILS@ 3" O.C. PANEL EDGES AND @ 4" O.C. ON EACH STUD UNLESS OTHERWISE NOTED.
5. WSP SPANS TO BE CONSTRUCTED AS SHOWN BUT NOT SPANNING LESS THAN 3 STUDS.
6. PANELS IN ALL CASES ARE TO RUN FULL HEIGHT OF WALL (TOP PLATE TO SILL/BASE PLATE) UNLESS OTHERWISE NOTED.
7. MINIMUM REQUIRED/ACTUAL BRACING WIDTHS AS NOTED PER WALL CONDITION.
8. PANELS MUST NOT EXCEED CLEAR WIDTH OF 20' BETWEEN PANELS FOR ANY GIVEN BRACED WALL.
9. PANELS MUST NOT EXCEED CLEAR WIDTH OF 10' FROM THE CORNER OF ANY GIVEN BRACED WALL TO THE FIRST WSP.
10. PROVIDE CONTINUOUS BLOCKING AT EDGES OF ALL WSP PANELS AND INTERIOR GYPSUM BOARD.



2 PROPOSED BRACING PLAN (WEST ELEVATION)
S-4G SCALE: 1/4"=1'-0"



3 PROPOSED BRACING PLAN (EAST ELEVATION)
S-4G SCALE: 1/4"=1'-0"

SEA

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REVISIONS
NUMBER - DESCRIPTION - DATE - INITIAL

BRONER RESIDENCE (GUEST HOUSE)
PROPOSED WALL BRACING PLAN
PREPARED FOR:
JAMES & MIRIAM BRONER
117 INTERLAKEN ROAD
LAKEVILLE, CT

SCALE: 1/4"=1'-0"
FILE NAME: 1163-STRUCTURAL 1
DATE: 3/16/2026
ISSUED FOR: PERMITTING

PROJECT NO. 1163

DRAWING NO. S-4G

BRONER RESIDENCE

117 INTERLAKEN ROAD - ROUTE 112

LAKEVILLE, CONNECTICUT

CONSTRUCTION DOCUMENTS

SEPTEMBER 15 23, 2025

PROPOSED IMPERVIOUS COVERAGE/ BUILDING ADDITIONS:
MAIN HOUSE & GUEST HOUSE

TOTAL LOT AREA: 130,519 SF

AREA WITHIN LPOZ: 67,802 SF

MAXIMUM ALLOWABLE IMPERVIOUS SERVICE WITHIN LPOZ: 6,780 SF

EXISTING IMPERVIOUS SURFACE: 5,821 SF

MAXIMUM ALLOWABLE IMPERVIOUS SURFACE REMAINING: 959 SF

EXISTING IMPERVIOUS SURFACE TO REMAIN:

GUEST HOUSE: 1,437 SF

STONE WALKS / WEST SIDE GUEST HOUSE: 326 SF

STONE WALKS / EAST SIDE GUEST HOUSE: 148 SF

AIR CONDITIONING UNITS: 36 SF

GENERATOR: 9 SF

STONE PATIO @ LAKE: 223 SF

STONE TERRACE AT MAIN HOUSE: 249 SF

CELLAR DOOR: 37 SF

STONE STEPS + FRONT WALK: 210 SF

CHANGING AREA: 44 SF

MAIN HOUSE: 3,111 SF

TOTAL: 5,821 SF

PROPOSED ADDITION/ MAIN HOUSE:

ADDITION: 420 SF

AC UNIT: 4 SF

DECK + STEPS: 45 SF

TOTAL: 469 SF

PROPOSED ADDITION/ GUEST HOUSE:

ADDITION: 323 SF

TOTAL: 323 SF

TOTAL /BOTH ADDITIONS:

323 SF + 469 SF = 792 SF

MAXIMUM ALLOWABLE IMPERVIOUS SURFACE WITHIN LPOZ:

6,780 SF

MAXIMUM ALLOWABLE IMPERVIOUS SURFACE REMAINING:

959 SF

MAXIMUM ALLOWABLE IMPERVIOUS SURFACE REMAINING WITH ADDITIONS:

959 SF - 792 SF = 167 SF

DRAWING LIST

MAIN HOUSE

A-100 EXISTING & PROPOSED CELLAR PLAN
A-101 EXISTING & PROPOSED FIRST FLOOR PLAN
A-102 EXISTING & PROPOSED SECOND FLOOR PLAN
A-103 EXISTING & PROPOSED ROOF PLAN

A-200 EXISTING & PROPOSED SOUTH ELEVATION & SECTION
A-201 EXISTING & PROPOSED WEST ELEVATION
A-202 EXISTING & PROPOSED EAST ELEVATION

A-400 WINDOW & DOOR SCHEDULES

A-500 SPECIFICATIONS - MAIN HOUSE & GUEST HOUSE

I-100 PROPOSED INTERIOR ELEVATIONS / MAIN HOUSE 1ST FLOOR
I-101 PROPOSED INTERIOR ELEVATIONS / MAIN HOUSE 2ND FLOOR

E-100 PROPOSED ELECTRICAL PLANS / MAIN HOUSE

SITE PLAN

L-001 PROPOSED SITE PLAN / OVERVIEW
L-101 ENLARGED SITE PLAN / MAIN HOUSE
L-102 ENLARGED SITE PLAN / GUEST HOUSE ADDITION

GUEST HOUSE

GA-101 EXISTING & PROPOSED FIRST FLOOR PLAN
GA-103 EXISTING & PROPOSED ROOF PLAN

GA-200 EXISTING & PROPOSED WEST & EAST
(ELEVATION (PARTIAL))
GA-201 EXISTING & PROPOSED SOUTH ELEVATION &
SECTION

GA-400 WINDOW & DOOR SCHEDULES

GE-100 PROPOSED ELECTRICAL PLANS

KEVIN WOLFE ARCHITECT, PC

337 Kenmore Road, Douglas Manor, NY

Tel: 516.732.6961

Architect :

KEVIN WOLFE ARCHITECT, PC

337 Kenmore Road, Douglas Manor, NY
Tel: 516.732.6961

1. **SPECIFICATION/GENERAL REQUIREMENTS**
- a. The "Standard Form of Agreement Between Owner and Contractor," AIA Document A101 and AIA Document A201 (Most recent editions) are part of this contract, and apply to all work.
- b. Mention in this specification or indications on drawings of articles, operations, methods, or materials requires that the Contractor provide each item mentioned, indicated or implied, to achieve the intended building, according to the methods of best construction process and building material manufacturer's specifications for installation. All materials used shall be new, of first quality, suitable for purpose intended and conditions encountered.
- c. All work shall comply with all applicable building codes and the requirements of all authorities having jurisdiction. The owner shall obtain and pay for the Building Permit. The contractor shall obtain, pay for and turn over to the Owner all other required permits and inspection certificates, including certificate of occupancy.
- d. At completion, the entire building and all its fixtures and adjacent ground shall be completely cleaned, ready to be furnished and occupied by owner. All glass and mirrors shall be left in spotless unbroken condition. All window glass shall be cleaned inside and out. All labels on glass removed.
- e. All work shall be fully guaranteed by the General Contractor for a period of a minimum of one year from the date of the certificate of occupancy. Longer guarantee periods shall be required in the individual sections of this specification. Guarantee shall include both labor and materials.
- f. The Contractor shall coordinate his work with others performing related work under separate contracts with the owner. This work shall include but may not be limited to installation telephone, cable and site work.
- g. The Contractor shall exercise extreme care to protect existing trees and site features. The job site shall be maintained in a neat and orderly state throughout construction.
- h. Entry to the site is to be through the west side of the site at Center Drive using the existing driveway whenever possible.
2. **DEMOLITION**
- a. The Contractor shall perform all operations of demolition and removal indicated on the drawings and as may be required by the work. All work shall be done carefully, neatly and in a systematic manner.
- b. No debris shall be allowed to accumulate on site. The site shall be left broom clean at completion of demolition.
- c. No structural elements shall be removed unless portions affected are adequately supported by temporary shoring as required to protect the stability and integrity of the existing structure.
- d. Remove all wiring and plumbing, as required. Removed pipes or lines shall be cut to a point of concealment behind or below finish surfaces, and shall be properly capped or plugged for future use.
- f. The Contractor shall provide adequate weather protection for the building and its contents during the course of the work. All openings in any wall or roof shall be protected from all forms of weather or water penetration.
3. **SITE WORK**
- a. Stake out all corners of structure and establish all elevations to Architect's and Owner's satisfaction. Install batten boards prior to excavation. GC is responsible to provide all protective fencing and shoring for excavation as required by the code. Prepare construction staging area and parking area. Property, including the gravel driveway is not to be driven on or disturbed as marked by GC with the architect in field at commencement of job.
- b. Extreme care shall be taken to protect all existing trees and tree roots to remain from all building operations, including trucking, storage of materials, etc., during entire progress of work. Erect sturdy barriers around all adjacent trees to insure their protection, TO BE STAKED OUT WITH ARCHITECT BEFORE CONSTRUCTION BEGINS.
- c. Remove trees and vegetation as shown on the drawings or as required by site conditions. Strip existing topsoil from construction areas and areas to be graded and stockpile for reuse.
- d. Excavation shall be to depths shown on drawings and shall include all required digging for installation of mechanical, plumbing and electrical work, both inside and outside the building walls. Earth removed shall be used for backfill and rough grading work. Assume any rock encountered shall be removed by means other than pneumatic hammer or blasting.
- e. Back fill around new foundations. No back filling of foundation walls shall be permitted until first floor framing is in place. Rough grade as required by site plan. Finish grade using stockpiled topsoil as required by site plan. All new grades shall slope away from house for a minimum of 5 Feet from building. All existing grades are to be maintained as closely as possible (see top plan).
- f. All grading to be accomplished with equal cut and fill. Additional fill if required to be unit price.
- g. Finish grade, reusing existing top soil. Fine grading, seeding and planting by others.
- h. On completion of building, all scrap and surplus building material, debris, etc., shall be legally disposed of, off Owner's property, and not buried as fill or burned.
- NOTE:**
Data shown on site plan has been taken from surveys of site made by others. The Architect and Owner cannot guarantee the absolute accuracy of the information shown.
4. **CONCRETE**
- a. Concrete shall have a minimum ultimate strength of 3000 psi in compression at 28 days. Concrete may be proportioned by ACI 318, Section 302, Method 1; however, concrete shall have six bags of cement per cubic yard, with no more than 5-1/2 gallons water per sack of cement, with a maximum slump of 4". All concrete may be made with Type 1 cement.
- b. The applicable provisions of the following shall govern.
- ACI 315 Manual of Standard Practice for Detailing Reinforced Concrete
ACI 318 Building Code Requirements for Reinforced Concrete
ACI 613 Recommended Practice for Selected Proportions for Concrete.
ACI 319 Metal Supports for Reinforcement
- c. All reinforcement shall be protected with concrete covering as follows:
1. 3" minimum coverage for reinforcing in footings.
2. 1" minimum coverage for slabs (1" from top of slab).
3. Footings shall rest on solid ledge rock or undisturbed soil, 3'-0" minimum below grade, having a safe bearing capacity of 2000 lb/sf. Allow footings to cure 48 hours before building foundation walls.
- d. Concrete floor slabs on earth shall be placed over a well compacted subgrade or thoroughly compacted fill. Over earth, place a porous fill consisting of clean washed gravel graded from 1"-2-1/2" to 3/4" - 1" - 1 1/2" size; thickness of porous fill shall be 6", unless otherwise shown. Roll or tamp fill until thoroughly compacted. Provide wood runways for wheeled equipment for transporting concrete. Immediately place concrete of required thickness. Slabs shall be reinforced with 6" x 6" --10/10 welded wire mesh, lapped 6", unless shown otherwise, placed 1" from top of slab. If required, "Anti-Hydro" shall be added to concrete as per manufacturer's instructions.
5. **MASONRY**
- a. Masonry shall be 1000 psi load bearing type conforming to ASTM C-90, Grade U-1.
- b. Foundation Walls: Allow footings to cure for 48 hours prior to building walls.
- c. Lay masonry units in ASTM-C270 Type M or S Mortar.
- Type M**
1 Masonry Cement 1 Portland Cement
1 Portland Cement or 1/4 Hydrated Lime
4 1/2 to 6 Sand 3 to 3/4 sand
- Type S**
1 Masonry Cement 1 Portland Cement
1/2 Portland Cement 1/2 Hydrated lime
3 1/2 to 4 1/2 Sand 3 1/2 to 4 1/2 Sand
- Mix dry, add water gradually. Units shall be well-buttered on all edges. Vertical joints solid.
- d. Do not install in wet or freezing weather. Cover tops of incomplete walls at night. Protect from adverse weather conditions.
- e. Anchor bolts: 1/2" diameter, placed at 4'-0" o.c. maximum, 2 per plate minimum, 15" minimum embedment.

- f. All foundation walls shall be waterproofed. On outside face of foundation, apply a 1" thick coating of cement parging. While coating is tacky, overlay .003 mil. polyethylene sheets, edges lapped 6". Waterproofing shall extend from grade to parge cove at footing, across footing perpendicular and down to bottom of footing with second coating of bituminous waterproofing from backfill and to insulate crawl space and basement. For poured concrete walls, do all of the above except eliminate parging. All masonry above finished grade to be parged to match existing, no waterproofing.
- g. Stucco to be 7/8" three coat Portland cement plaster system to match existing house.
- First coat: scratch
Second coat: brown
Third coat: finish
Match finish texture of existing plaster walls.
Metal lath: hot dipped galvanized diamond lath.
Waterproofing: two layers of 15 lb. building felt.
Accessories:
Hot dipped galvanized sheet metal, typical in the following shapes:
Corner bead at all outside vertical corners
Weep screed at all horizontal terminations of the plaster surface including but not limited to the base of walls, door and window heads
6. **DRIVEWAY**
- The existing gravel driveway is to remain and shall be protected by the GC during construction. GC is responsible for repairing any damage to the driveway or concrete work at the site.
7. **CARPENTRY**
- A. STRUCTURAL FRAMING**
1. Framing: Douglas Fir, construction grade, stamped by an approved grading association of the West Coast Association, cut from sizes nearest span length, (f=1,500 psi E=1,760,000). Other timber with same performance specification will be acceptable subject to Architect's approval.
2. All nailing shall satisfy FHA minimum standards.
3. Exterior walls shall be framed with 2 x 6's at 16" o.c. typically. Interior partitions except as shown in the drawings shall be framed with 2 x 4's at 16" o.c.
4. Cross bracing shall be provided in all floor and roof framing at intervals not exceeding 8 feet. Use hot-dipped galvanized steel or wood bridging.
5. Where flush framing is indicated, the method of fastening is to be by means of U- Grip Joist and beam hangers for 2x10's and up, Type B-28. Wherever required provide additional strength at connections, use L-Grip anchors. See Structural plans for specific connection details.
6. Blocking under all edges of roof and floor sheathing not over framing shall be 2x4's, flat.
7. Where engineered lumber is specified, care should be taken to keep wood completely dry until space is fully enclosed. All sills to be CCA treated. Sill insulation to be installed between top of foundation wall and sill.
- B. SHEATHING, SIDING AND TRIM**
1. Subflooring: 3/4" tongue and groove plywood. 3/4" square-edged plywood may be used if solid 2x4 blocking is provided under edges which do not occur over joists. Glue and nail to joists with 6d coated nails at 8" o.c. and 6" at edges.
2. Roof sheathing: 5/8" CDX plywood 6d nails 6" o.c., no staples. 30 lb. roofing felt underlayment, and Water & Ice Shield at valleys and edges.
3. Wall sheathing: 5/8" CDX plywood 6 d nails 6" o.c. with no staples. Cover all exterior sheathing with two layers of 15 pound building felt.
4. Plywood floor sheathing shall be laid with the length of sheets perpendicular to joists and end joints staggered. Sub-flooring shall be glued and nailed to joists with 6 d coated nails at 8" o.c. in center and 6" o.c. at edges.
6. Interior trim, door and window casing to match existing moldings, trim and casings.
7. New trim to match wood types and sizes on existing house. All trim and moldings to be repaired or replaced on existing house as needed. Eave detail and fascia molding profiles to match existing profiles and detailing, exactly.
8. All Exterior shingles are to be repaired; shingles to be replaced as needed, and to match existing cedar shingle siding exactly.
9. **C. CABINETS AND CLOSETS**
1. Shelving: 3/4" thick prefinished maple shelving to be used at all existing closets or shelving and for all new closet built-ins.
2. Closet hang rods: 1 1/8" diameter heavy-wall chrome plated pipe.
3. Cabinet interior construction: Cabinets shall be fabricated from finish grade birch veneer plywood (no flakeboard, chipboard or furniture core is to be used.). All cabinetry to have two coats of paint.
4. Cabinet interior finish: 2 coats of paint.
5. Guarantee: The Contractor shall provide an unconditional 5-year guarantee for the structural stability of all cabinet work. The guarantee shall cover the operation and sturdiness of all doors, drawers and countertops. Excluded from this guarantee is damage done by the Owner to finished surfaces after final completion.
- WORKMANSHIP**
- All work shall be adequately braced until all portions of the building affecting its stability are in place and secured. All frame members shall be well spiked to bearing.
8. **MOISTURE PROTECTION**
- A. FLASHING & GUTTERS**
1. Copper flashing shall be provided at (but not necessarily be limited to) all roof to wall transitions and chimney and roof valleys. Valley flashing shall be 24" wide minimum.
2. All flashing shall be copper.
3. All exposed unsupported edges are to be hemmed.
4. Provide suitable joints and fasteners to allow for thermal expansion anticipated.
5. All gutters & downspouts to match existing house and mounted to the edge of the roofing system, as needed.
- C. SEALANT**
1. "Mono" Tremco; Fed. Spec. TT-500230, color approved by the architect. All exterior saddles, metal frames, wood door frames between wood and concrete and elsewhere as indicated and/or required, shall be sealed by an experienced applicator. Sealing wherever possible shall be from the outside of the building. Where openings are more than 3/4" in depth, pack first with approved close cell non-staining neoprene joint filler luted into within 3/4" of surface, then seal.
- b. Pipes penetrating exterior walls to be packed with "Leadwall" to a depth of 3/4" from face to wall and filled with a sealant.
- c. All openings through Mechanical Room partition for pipes, ducts, etc., shall be completely sealed with Tremco Acoustical Sealant, applied in accordance with manufacturer's specifications.
- d. Upon completion of the work, the Contractor shall furnish the Owner with a five (5) year guarantee for all labor and material against defects in all roofing, flashing and sealant.
8. **ROOF SHINGLES**
- a. All new roofing shall be cedar shingles to match existing roofs exactly
9. **INSULATION**
- a. Blown in insulation shall be R19 for the walls and R30 for roof (or according to local codes if greater) manufactured by Icynene, or architect approved equal. Install in accordance with the manufacturer's instructions. Take care not to obstruct air flow over insulation on roof.
- b. At roof rafters where insulation is installed, apply Styrofoam chutes to hold insulation slightly away from underside of roof sheathing allowing air to flow from eave to attic space and at cathedral ceilings.
10. **WINDOWS, DOORS**
- A. WINDOWS**
1. Windows shall be manufactured by "Marvin" with insulated glass and 5/8" simulated divided lights w/ metal spacer bar. See drawings for window types.
2. Hardware is to be antique brass to match existing hardware unless otherwise noted. All operable windows to have full wood screens at the (interior) for casements to match finished wood of windows, unless otherwise noted.
3. Exterior window casing with new windows to be 5" flat stock to match existing; interior casings to be painted, color to be selected by architect.
- B. GLASS**

1. All glazing shall be double insulating type glass, unless otherwise noted.
2. All glass within 18" of floor, stair trends, and in doors shall be tempered, as required by code.
- C. DOORS**
1. Exterior glazed doors shall be 1 3/4" thick clear Fir, glazed with tempered glass.
2. Exterior doors, non-glazed shall be 1 3/4" thick paneled, painted with exterior grade paint. Exterior doors shall be constructed using exterior grade glue.
3. All new exterior and interior doors are to match existing in size and profiles and panels, and are to be provided by, or architect approved equal:
- Update Door
26 Industrial Street
Warsaw, NY 14569
800-570-3880
Fax: 585-786-3888
Interior doors shall be 1 1/2" thick by heights and widths as shown in the drawings.
- D. MIRRORS**
1. Mirrors shall be 1/4" thick glazing quality polished plate glass with backs heavily electroplated with copper and given a prime coat of mirror backing paint. Mirror pieces shall have square edges ground smooth and polished.
2. Mirrors shall be supported with mastic. No "J" moldings will be permitted.
3. Mirrors shall be guaranteed against silver spoilage for a period of five years from the date of Certificate of Occupancy.
- E. GUARANTEES**
1. All insulating glass units shall be warranty guaranteed not to develop material obstruction of vision due to dust film or vapor condensation on the inner glass surfaces caused by failure of seal, other than through glass breakage, within a period of ten years from the date of the Certificate of Occupancy (or project completion). All glass broken prior to issuance of final completion, regardless of the cause of breakage, shall be replaced by Contractor without additional cost to the Owner. Glass replacement under 10 year warranty shall include furnishing of replacement glass at no cost to owner. Labor to install replacement glass shall be at Owner's expense.
2. All doors shall be guaranteed against warping or delamination for a period of one year from the date of the Certificate of Occupancy.
11. **GYPNUM DRYWALL**
- a. Gypsum board: Drywall products shall be manufactured by U.S. Gypsum Co., or equal.
- 1) Typical walls and ceilings throughout: 5/8" sheet rock, tapered edges.
- 2) Walls of wet areas, 5/8" W/R Gypsum panels, tapered edges.
- 3) Metal Accessories: Corner Bead: #103 Dur-A-Bead; Casing Bead: U.S.G. #200B metal trim; screws; Tape and Compound: Perf-A-Tape Joint System consisting of Perf-A-Tape Reinforcement and Perf-A-Tape Compound. At edges f all exposed sheet rock, use #200B metal trim. Plastic Corner bead not acceptable.
- c. Reference Standard: Gypsum Drywall Construction Handbook, 4th edition.
1. Drywall construction shall not be started until building has dried out sufficiently so that gypsum board and accessories will not be adversely affected by moisture.
2. During installation of gypsum wall board and joint compounds, the building temperature shall be maintained above 50 F.
3. Furring, if not true to line and plane and if incorrectly spaced must be corrected.
4. All ends and edges of all gypsum wallboard shall occur over nailing members. To minimize end joints, use wallboards of maximum practical lengths. Boards shall be brought into contact, but shall not be forced into place. Where ends of edges abut, they shall be neatly fitted. Stagger end joints at ceilings. Board shall run vertically on all walls and shall be full height.
3. Corner beads shall be one-piece for full height corner on all corners, according to manufacturer's specifications. All metal trim accessories shall be screwed or nailed in place, no crimping permitted.
6. All cuts shall be made neatly, either with a saw with face-up or by cutting the face paper, snapping core on support at the line and snapping back after cutting back paper with a knife. All cut-outs for electric switch boxes, outlets, pipes, ductwork, grilles, etc., shall be made only with a drill, keyhole saw or specific tools designed for such purpose and shall fit accurately.
7. All drywall shall be screwed to wood framing and furring using materials and spacing as specified by U.S.G. for each application.
8. All joints and corners shall receive 3-coat compound treatment with tape at joints and metal beads at corners and points where sheet rock meets dissimilar materials and is not covered by moldings.
9. Last coat of compound shall be thinned to ensure smooth surface so there is no change in texture between paper face and joints.
12. **WOOD FLOORING**
- a. Material: 3/4" thick 2 1/4" wide T&G oak (size and type to be VIF before ordering) strip flooring. Select Grade, to match existing. All planks with knots, sap streaks or irregular color to be rejected.
- b. Installation: lay boards lightly over a layer of kraft type building paper.
- c. Finishing: Floors to be sanded smooth, using three grades of paper with the finish cut to be #60 paper, no sanding marks to show, stained, and floor sealed with three coats of non-yellowing polyurethane matte finish, typical, or equal, to be approved by Architect. All wood floors throughout the addition are to be stained, color VIF; GC to provide sample for architect's approval. Floors to be screened with wood buffer prior to final coat of finish.
13. **CERAMIC TILE & MARBLE**
1. GC to install tile and stone, as shown in the drawings. Stone and tile to be selected by owner.
14. **PAINT**
- a. Material: All paint to be Benjamin Moore Custom Colors. Assume 12 colors.
- b. Application: Exterior - All wood trim to be painted with two coats of oil based finish paint, one coat oil base primer. All knots to be sealed with two coats of shellac sealer. All interior wood trim to have three coats of oil based paint over one coat of primer. All GWB to have two coats of Latex paint and one coat primer.
- c. Contractor to provide 4 FT x 4 FT color samples for owner and architect's approval for each paint color selected. 12 samples to be provided at no extra cost.
- Contractor to provide 6 exterior color samples at no extra cost.
- d. Trim shall be Impervo Satin
Walls shall be flat.
- e. All new exterior trim shall be back primed before installation.
15. **PLUMBING**
- A. SCOPE OF WORK**
1. Include all labor, materials and equipment, etc., necessary to provide a complete new plumbing system in areas of new work as indicated: soil, waste, vent, hot and cold water piping, and to connect to existing town sewer.
- B. SANITARY DRAINAGE SYSTEM**
1. A complete sanitary drainage system shall be installed for all fixtures consisting of waste and vent lines, with connections to all fixtures shown or specified, and to connect to the town sewer.
2. Waste and vent piping shall be DWV copper for all pipes sizes 1 1/2" and below. All soil piping 2" and over shall be heavy cast iron for connection with existing waste line. No HUB cast iron pipe may be used.
3. Lead soil connections to water closets shall weigh 8 pounds per foot. Connections between iron and copper and lead pipes shall be made with brass ferrules and wiped joints. Branches shall be carried in iron as close to fixtures as possible.
4. Traps shall be placed where necessary and in accordance with state and local codes.
5. Cleanouts shall be provided at connections to horizontal drain in accessible positions and as called for by local and state codes.
6. Waste lines shall drain to a house drain.
7. All new plumbing stack vents above the roof shall be copper with a copper boot at the roof.

8. In general, all fixtures shall be vented into vertical risers. Horizontal lines to vent pipes shall drain to fixtures, to above traps and shall pitch not less than 1/4" per foot. Sizes of vent branches to fixtures shall be as required by state and local codes.
- C. WATER SUPPLY**
- Domestic water piping shall be type "L" hard copper tubing with wrought sweat-fitted joints and shall be extended to new fixtures as required by the installation. Minimum pipe size for fixture supply shall be 3/4". All exposed piping shall be chrome plated.
- D. AIR CHAMBERS**
- All branches at fixtures shall be provided with air chambers 18" long, of full size of each supply pipe.
- E. INSULATION**
- All hot and cold water piping shall be insulated with 1" thick sectional fiberglass insulation minimum 3.25w/ cu. ft. density with standard vapor barrier jacket, banded or approved alternate.
- F. WORKMANSHIP**
- All work herein specified or required shall be of the best quality, and installed by skilled mechanics. All piping shall be properly supported and secured to prevent movement and/or vibration. Piping shall be pitched to drain and provided with drain valves. It is mandatory that all supply and waste systems shall be absolutely tight in operation; provide insulation fittings and insulation supports as required; water pipes shall be oversized. No plumbing lines shall be located in exterior walls. Provide freeze proof hose bibs on locations shown in plan.
- G. TESTS**
- The entire sanitary system and drainage system shall be tested by the plumbing contractor in the presence of and to the satisfaction of the inspector of the department of jurisdiction and in compliance with the regulations of the said department. The entire water system shall be tested by hydrostatic pressure of 100 pounds per square inch at the lowest point of the system and there shall be no leak for 4 consecutive hours.
- H. PLUMBING FIXTURES**
- Bathroom fixtures to be selected by owner and architect and installed by GC.
- I. DRAINAGE DOWNSYSTEM**
11. All water lines shall be laid out so as to permit complete drainage of water lines at one (1) or no more than two (2) locations in basement area.
12. Contractor shall submit proposed drainage system for Architect's approval before proceeding. Contractor to provide connection to existing sewer system.
- J. WATER PRESSURE TEST**
- Prior to final acceptance, Contractor shall perform a water pressure test with various faucets open, to determine that adequate pressure and flow exists to all fixtures.
16. **HEATING & AIR CONDITIONING**
17. **AIR CONDITIONING**
- a. GENERAL**
- Division 1, General requirements, of this Specification is part of this Contract and applies to all work of all divisions.
- b. CODE REQUIREMENTS**
- All work, equipment and materials under this section shall meet the approval of all State and Local Officials having jurisdiction and shall comply strictly with all applicable codes. Requirements of the above shall take precedence over plans and specifications. All necessary permits shall be obtained by this Contractor at his own expense.
- c. MATERIALS AND WORKMANSHIP**
1. All equipment and materials shall be new and of the first quality suitable for the purpose intended and conditions encountered.
2. All work shall be performed in a neat and workmanlike manner with due regard for good practice and best finished appearance.
3. Any unsatisfactory work, equipment or materials as determined by the Architect, shall be corrected or replaced at once without cost to Owner.
4. Every part of the Air Conditioning System shall be tested and left in proper working order.
- d. WORK INCLUDED**
- The subcontractor whose bid is selected for this work shall, before contract is awarded prior to commencement of any work, supply the Contractor and Architect with an engineering and air conditioning for the additions. The system is based on maintaining the interior spaces at 78 F when the outside temperature is 95 F dry bulb and 75 F wet bulb in the summer.
- f. INTENT:**
- The intent of the specification is to provide for a complete apparatus in every respect and to cover all necessary materials and labor whether specifically mentioned or not. The entire system including design, equipment, duct work, etc., to conform to the latest code of the National Warm Air Heating and Air Condition Association. All work must conform to local building and fire laws and certificate of Fire Underwriter must be furnished.
- g. DESIGN OF SYSTEM:**
- All ducts to be sized to accommodate summer air conditioning. Return ducts shall be minimum of 80% of supply ducts. Velocity in ducts shall not exceed the recommended values indicated in the ASHRAE guide for warm air Heating Systems. Excessive noise in system shall be the responsibility of the contractor and shall be corrected without any additional cost to the owner.
- h. The above listing shall be taken as a general outline only and not as a complete tabulation or description of all the work included, nor in any respect limiting the work to be done under this section of the specifications.**
- i. RELATED WORK**
1. Cutting and patching.
2. Electric service, disconnects and power wiring of heating and air conditioning equipment.
3. Excavation and backfilling.
4. Concrete work.
- h. COOLING COILS**
- 2.Coils shall be copper tube aluminum fin and shall have factory casings with drain pan.
- 1.Furnish and install flat type direct expansion cooling coils for each zone.
- 3.All coils shall have cap tube expansion control.
- k. CONDENSING UNITS**
1. Furnish and install in locations to be determined, air cooled condensing units of sizes and capacities required. Condensing units shall be comprised of the following major components: heavy gauge galvanize steel cabinet, hermetically sealed, suction gas cooled compressor with thermostatically controlled crankcase heater, axial flow condenser fans, condenser coil, suction and liquid service connections, high and low pressure switch, filter drier and hard start low voltage kits.
- l. REFRIGERANT PIPING**
1. All liquid and suction lines inside of building shall be type "L" soft temper copper tubing, factory line sets. All piping outside of building shall be type "L" hard temper; install neat and plumb.
2. Condensate drain lines shall be type "M" hard temper copper tubing. Drain off each cooling coil to indirect waste. Coordinate with Plumbing Contractor.
3. Insulate all suction lines with 1/2" "Armaflex" or approved equal.
- m. DUCTWORK**
1. All ductwork shall be constructed of best grade, open hearth prime galvanized sheet metal, gauge and supports in strict conformance with the latest edition of the Guide. Location of all ductwork to be approved by Architect before installation.
2. All ductwork shall be seams and cross-broken to prevent flutter.
3. All ductwork visible through any air outlet shall be painted flat black.
- o. INSULATION**
1. All air conditioning ductwork-supply and return 25' to and from A.C. units and all ductwork in exposed basement shall be internally insulated with 1" thick flexible 1 1/2 lb. black neoprene coated dust liner, secure, with mechanical fasteners and pins min. 12" o.c.

END

2	9-15-25	ISSUED FOR CONSTRUCTION
1	8-15-25	ISSUED FOR PERMIT

CONSTRUCTION SET

PROJECT:

BRONER RESIDENCE

117 INTELACKEN RD
LAKEVILLE, CT

Dwg. Title

MAIN HOUSE & GUEST HOUSE SPECIFICATIONS

Scale & Signature

Date: 08-15-25

Project No.:
Drawing by: ASP
Checked by: KW
Dwg. No.

A-500.00

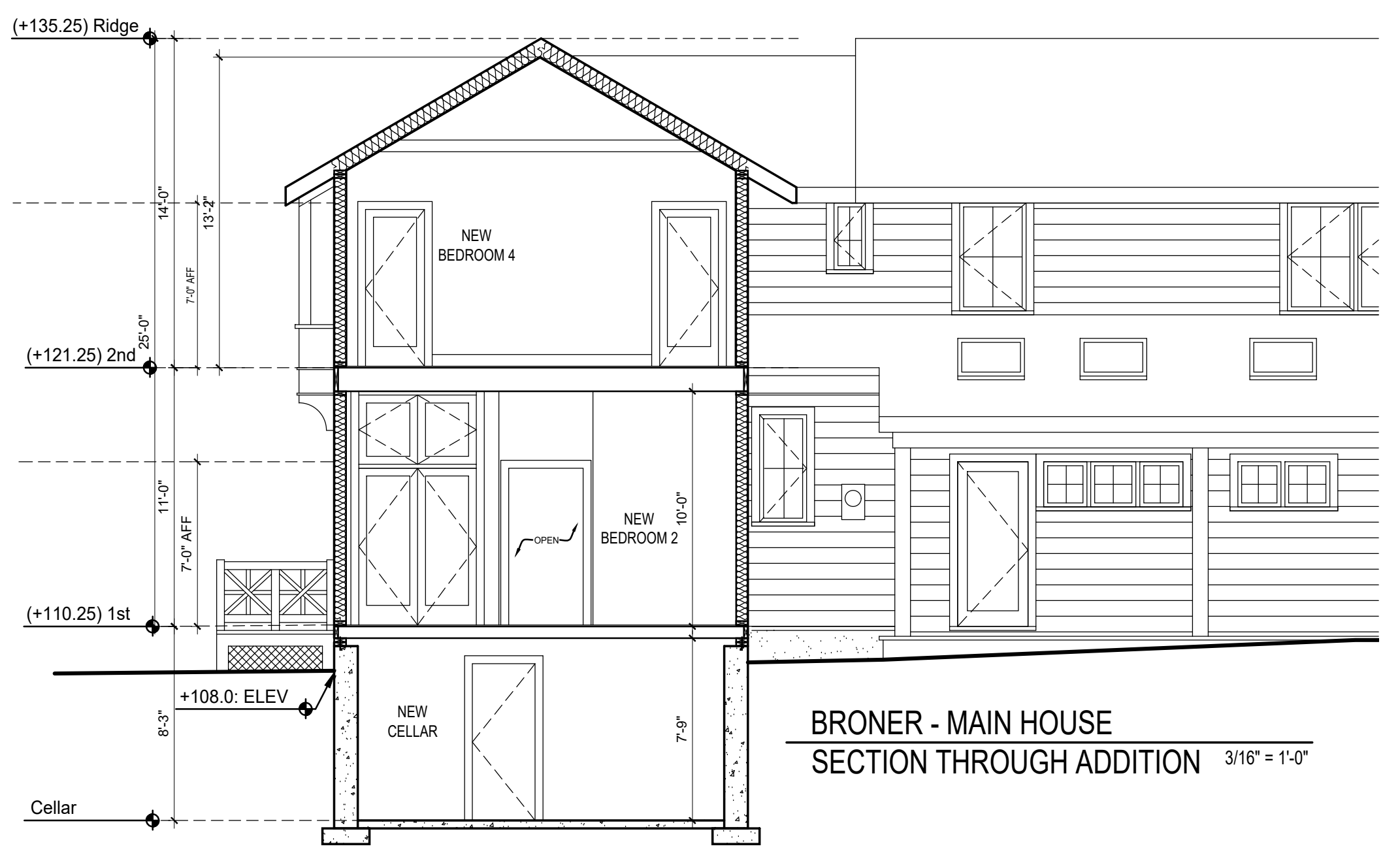
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BRONER - MAIN HOUSE
 EXISTING SOUTH ELEVATION 3/16" = 1'-0"



BRONER - MAIN HOUSE
 PROPOSED SOUTH ELEVATION 3/16" = 1'-0"



BRONER - MAIN HOUSE
 SECTION THROUGH ADDITION 3/16" = 1'-0"

LEGEND:

- EXISTING WALL TO REMAIN
- EXISTING TO BE REMOVED
- NEW EXTERIOR WALL 2X6 WOOD STUDS AT 16" O.C. WITH ONE LAYER 3/4" PLYWOOD SHEATHING ON THE EXTERIOR SIDE WITH R-19 BATT INSULATION AND ONE LAYER 5/8" FC GYPSUM WALLBOARD ON INTERIOR SIDE.
- NEW CONCRETE FOUNDATION OR INFILL WALL TO MATCH ADJACENT (VIF)
- INTERIOR WALL: STEEL STUDS AT 16" O.C. WITH ONE LAYER 5/8" FC GYPSUM WALLBOARD.
- 1HR RATED INTERIOR WALL: STEEL STUDS AT 16" O.C. WITH ONE LAYER 5/8" FIRECODE 'X' GYPSUM WALLBOARD.
- ALIGN WITH EXISTING WALLS
- NEW WINDOW
- NEW DOOR
- EXISTING TO REMAIN
- NEW APPLIANCE/FIXTURE TAG

NOTE
 ALL INTERIOR WALLS TO BE INSULATED FOR SOUND ATTENUATION

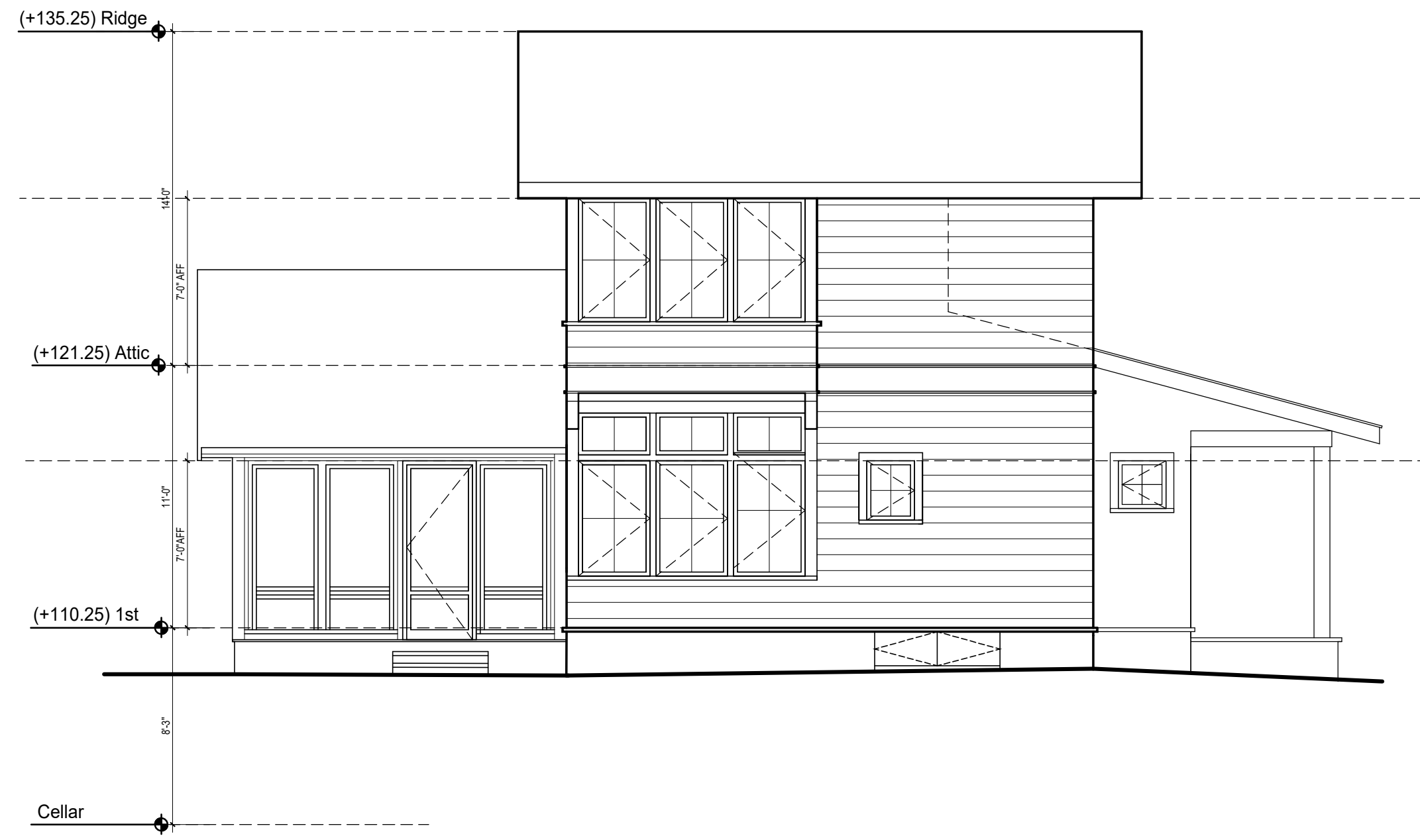
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1	8-15-25	ISSUED FOR PERMIT

CONSTRUCTION SET

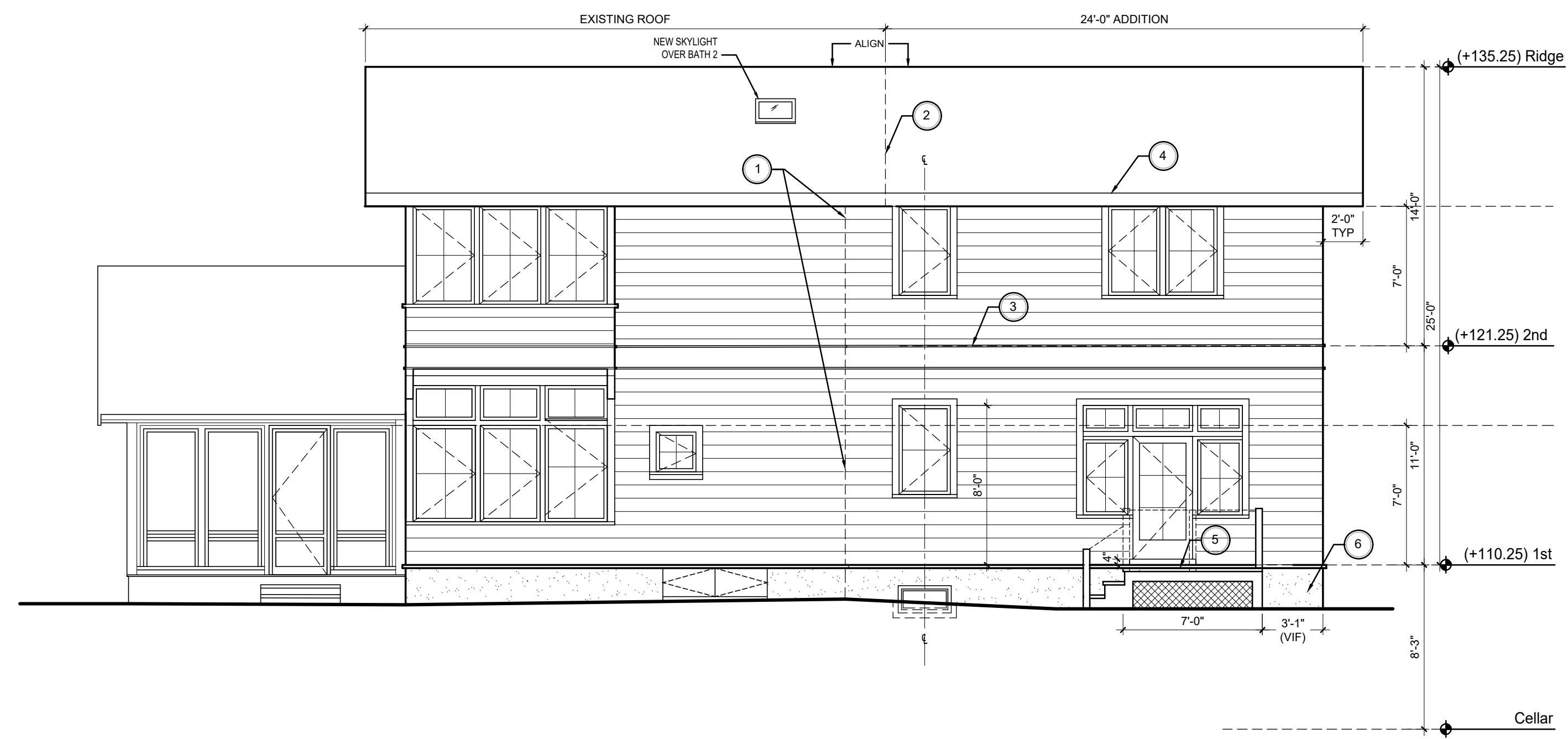
PROJECT:
BRONER RESIDENCE
 117 INTERLACKEN RD
 LAKEVILLE, CT

Dwg. Title
EXISTING AND PROPOSED SOUTH ELEVATION & SECTION

Scale & Signature
 Date: 08-15-25
 Project No.:
 Drawing by: ASP
 Checked by: KW
 Dwg. No.
A-200.00
 Cadfile: CONDOCS-MAIN-PLANS-ELEVS-89C



BRONER - MAIN HOUSE
EXISTING WEST ELEVATION 3/16" = 1'-0"



BRONER - MAIN HOUSE
PROPOSED WEST ELEVATION 3/16" = 1'-0"

ELEVATION - PROPOSED WEST	
KEYNOTE	CONSTRUCTION NOTES
1	MATCH CEDAR SHINGLES @ SIDING AND FEATHER IN AT SEAM BETWEEN EXISTING HOUSE AND ADDITION
2	MATCH CEDAR SHINGLES @ ROOF AND FEATHER IN AT SEAM BETWEEN EXISTING HOUSE AND ADDITION
3	MATCH TRIM DETAIL TO EXISTING BAND
4	MATCH TRIM DETAILS TO EXISTING EXACTLY
5	5 BY 7 FOOT IPE WOOD DECK WITH STEPS TO GRADE
6	FOUNDATION FINISH TO MATCH EXISTING

Architect:
KEVIN WOLFE ARCHITECT, PC
337 Kenmore Road, Douglas Manor, NY
Tel: 516.732.6961

LEGEND:

- EXISTING WALL TO REMAIN
- EXISTING TO BE REMOVED
- NEW EXTERIOR WALL 2X6 WOOD STUDS AT 16" O.C. WITH ONE LAYER 3/4" PLYWOOD SHEATHING ON THE EXTERIOR SIDE WITH R-19 BATT INSULATION AND ONE LAYER 5/8" FC GYPSUM WALLBOARD ON INTERIOR SIDE.
- NEW CONCRETE FOUNDATION OR INFILL WALL TO MATCH ADJACENT (VIF)
- INTERIOR WALL- STEEL STUDS AT 16" O.C. WITH ONE LAYER 5/8" FC GYPSUM WALLBOARD.
- 1HR RATED INTERIOR WALL- STEEL STUDS AT 16" O.C. WITH ONE LAYER 5/8" FIRECODE 'X' GYPSUM WALLBOARD.
- ALIGN WITH EXISTING WALLS
- NEW WINDOW
- NEW DOOR
- EXISTING TO REMAIN
- NEW APPLIANCE/FIXTURE TAG

NOTE
ALL INTERIOR WALLS TO BE INSULATED FOR SOUND ATTENUATION

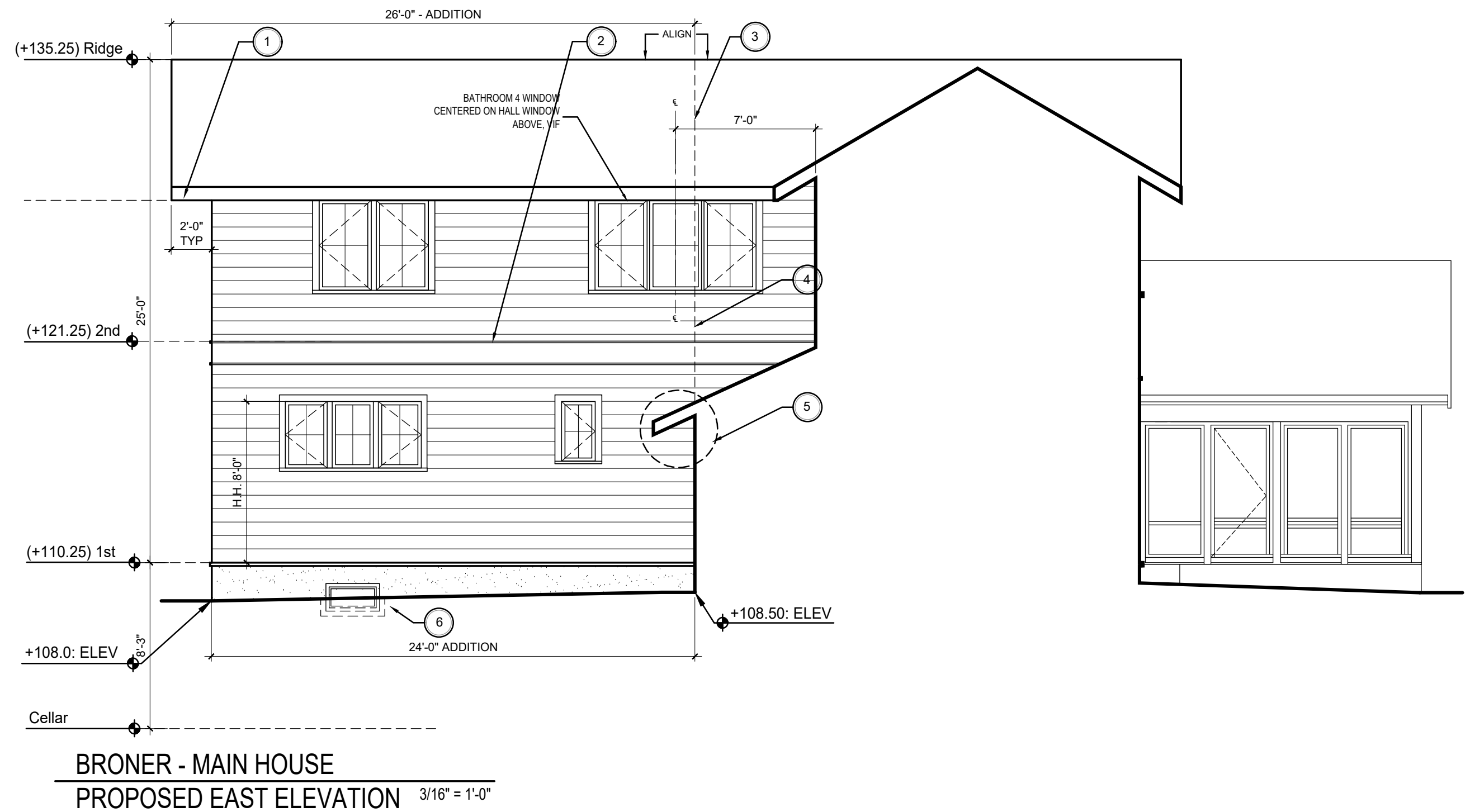
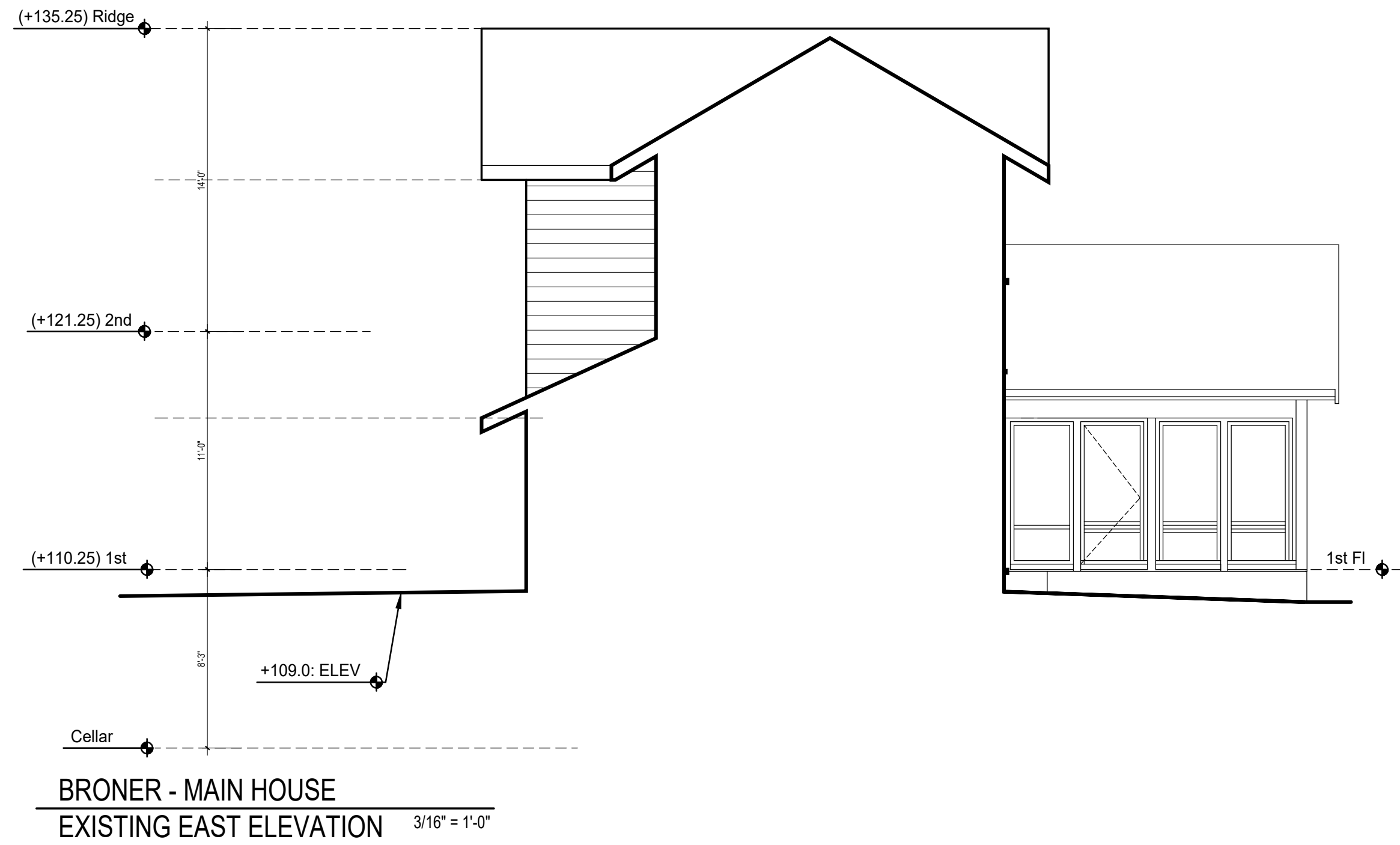
NO.	DATE	DESCRIPTION
2	9-15-25	ISSUED FOR CONSTRUCTION
1	8-15-25	ISSUED FOR PERMIT

CONSTRUCTION SET

PROJECT:
BRONER RESIDENCE
117 INTERLACKEN RD
LAKEVILLE, CT

Dwg. Title
EXISTING AND PROPOSED WEST ELEVATIONS

Scale & Signature
Date: 08-15-25
Project No.:
Drawing by: ASP
Checked by: KW
Dwg. No.
A-201.00
Caddfile:
CONDOSCS-MAIN-PLANS-ELEVS-89C



ELEVATION - PROPOSED EAST	
KEYNOTE	CONSTRUCTION NOTES
1	MATCH TRIM DETAIL TO EXISTING EXACTLY
2	MATCH TRIM DETAIL TO EXISTING BAND
3	MATCH CEDAR SHINGLES @ ROOF AND FEATHER IN AT SEAM BETWEEN EXISTING HOUSE AND ADDITION
4	MATCH CEDAR SHINGLES @ SIDING AND FEATHER IN AT SEAM BETWEEN EXISTING HOUSE AND ADDITION
5	REPAIR ROOF AND TRIM WHERE SOFFIT AND EAVE MEET THE ADDITION
6	GALVANIZED WINDOW WELL AT ALL CELLAR WINDOWS WITH DRAINAGE, TYP

LEGEND:

- EXISTING WALL TO REMAIN
- EXISTING TO BE REMOVED
- NEW EXTERIOR WALL 2X6 WOOD STUDS AT 16\"/>

NOTE
ALL INTERIOR WALLS TO BE INSULATED FOR SOUND ATTENUATION

Architect:
KEVIN WOLFE ARCHITECT, PC
337 Kenmore Road, Douglas Manor, NY
Tel: 516.732.6961

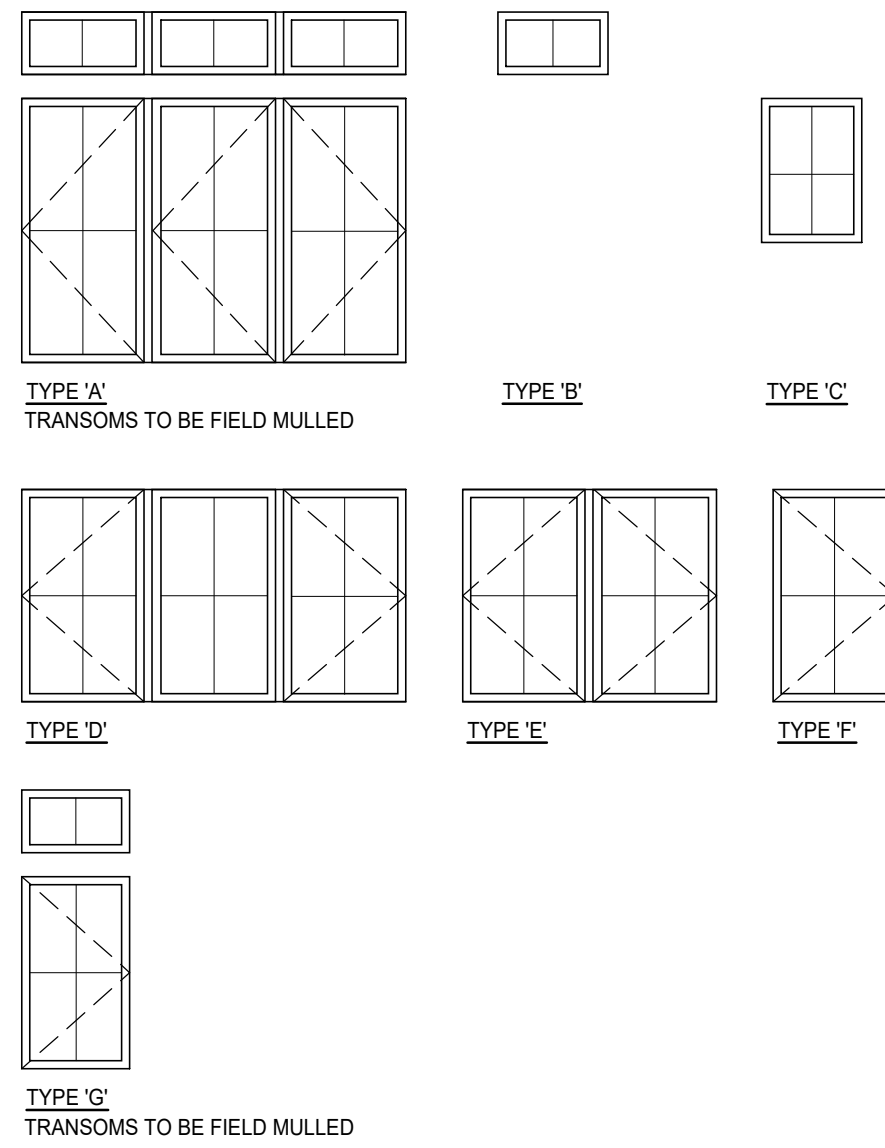
CONSTRUCTION SET		
2	9-15-25	ISSUED FOR CONSTRUCTION
1	8-15-25	ISSUED FOR PERMIT

PROJECT:
BRONER RESIDENCE
117 INTERLACKEN RD
LAKEVILLE, CT

Dwg. Title
EXISTING AND PROPOSED EAST ELEVATIONS

Scale & Signature
Date: 08-15-25
Project No.:
Drawing by: ASP
Checked by: KW
Dwg. No.
A-202.00
Caddfile:
CONDOS-MAIN-PLANS-ELEVS.BPC

MIAN HOUSE DOOR TYPES



WINDOWS SCHEDULE - MAIN HOUSE

1ST FLOOR									
NO.	LOCATION	OPENING SIZE (VIF)		MATERIAL		TYPE	MARVIN WINDOW NUMBER	REMARKS	
		WIDTH	HEIGHT	INTERIOR	EXTERIOR				
101	BEDROOM 4	2'-7"	3'-11 5/8"	WOOD	ALUMINUM	A	CUCA3248E		
101-T	BEDROOM 4	2'-7"	1'-3 5/8"	WOOD	ALUMINUM	B	CUAWN3016	FIXED TRANSOM	
102	BEDROOM 4	2'-7"	3'-11 5/8"	WOOD	ALUMINUM	A	CUCA3248E		
102-T	BEDROOM 4	2'-7"	1'-3 5/8"	WOOD	ALUMINUM	B	CUAWN3016	FIXED TRANSOM	
103	BEDROOM 4	2'-7"	3'-11 5/8"	WOOD	ALUMINUM	A	CUCA3248E		
103-T	BEDROOM 4	2'-7"	1'-3 5/8"	WOOD	ALUMINUM	B	CUAWN3016	FIXED TRANSOM	
104	BEDROOM 4	2'-3"	3'-11 5/8"	WOOD	ALUMINUM	G	CUCA3048		
104-T	BEDROOM 4	2'-3"	1'-3 5/8"	WOOD	ALUMINUM	B	CUCA2614	FIXED TRANSOM	
105-T	BEDROOM 4	2'-9"	1'-3 5/8"	WOOD	ALUMINUM	B	CUCA3216	FIXED TRANSOM	
106	BEDROOM 4	2'-3"	3'-11 5/8"	WOOD	ALUMINUM	G	CUCA3048		
106-T	BEDROOM 1	2'-3"	1'-3 5/8"	WOOD	ALUMINUM	B	CUCA2614	FIXED TRANSOM	
107	LAUNDRY	2'-7"	4'-5 5/8"	WOOD	ALUMINUM	F	CUCA3054E	SALVAGED FROM BATHROOM 2/2nd FLOOR	
108	BATH 1	2'-1"	2'-11 5/8"	WOOD	ALUMINUM	C	CUCA2436		
109	BATH 4	2'-1"	2'-11 5/8"	WOOD	ALUMINUM	C	CUCA2436		
110	BEDROOM 1	2'-1"	3'-3 5/8"	WOOD	ALUMINUM	A	CUCA2440		

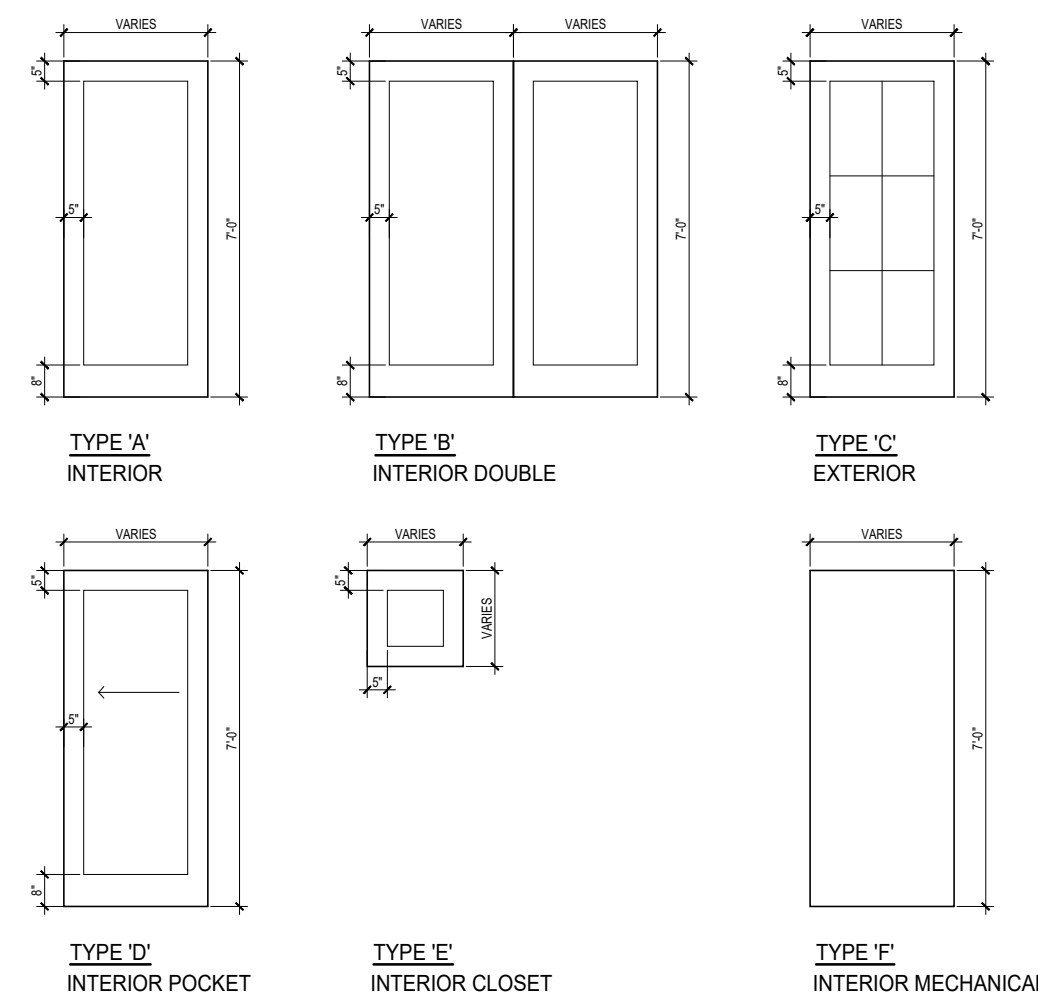
2ND FLOOR									
NO.	LOCATION	OPENING SIZE (VIF)		MATERIAL		TYPE	MARVIN WINDOW NUMBER	REMARKS	
		WIDTH	HEIGHT	INTERIOR	EXTERIOR				
201	BEDROOM 5	2'-7"	4'-5 5/8"	WOOD	ALUMINUM	E	CUCA3054E		
202	BEDROOM 5	2'-7"	4'-5 5/8"	WOOD	ALUMINUM	E	CUCA3054E		
203	BEDROOM 5	2'-7"	4'-5 5/8"	WOOD	ALUMINUM	E	CUCA3054E		
204	BEDROOM 5	2'-7"	4'-5 5/8"	WOOD	ALUMINUM	E	CUCA3054E		
205	BEDROOM 5	2'-7"	4'-5 5/8"	WOOD	ALUMINUM	E	CUCA3054E		
206	BEDROOM 5	2'-7"	4'-5 5/8"	WOOD	ALUMINUM	F	CUCA3054E	SALVAGED FROM BATHROOM 2/2nd FLOOR	
207	HALL	2'-7"	4'-5 5/8"	WOOD	ALUMINUM	D	CUCA3054E		
208	HALL	2'-7"	4'-5 5/8"	WOOD	ALUMINUM	D	CUCA3054E		
209	HALL	2'-7"	4'-5 5/8"	WOOD	ALUMINUM	D	CUCA3054E		
210	BEDROOM 2	2'-7"	4'-5 5/8"	WOOD	ALUMINUM	E	CUCA3054E		
211	BEDROOM 2	2'-7"	4'-5 5/8"	WOOD	ALUMINUM	E	CUCA3054E		

SKYLIGHT									
NO.	LOCATION	OPENING SIZE (VIF)		MATERIAL		TYPE	VELUX NUMBER	REMARKS	
		WIDTH	HEIGHT	INTERIOR	EXTERIOR				
201	BATHROOM	1'-9"	2'-2 7/8"	ALUMINUM	SOLAR	C01		VENTILATING, TOP HINGED	

NOTE:
 ALL WINDOWS ARE MARVIN, WITH 3/4" SDLS. WINDOWS ARE PRE-PRIMED WOOD INSIDE AND ALUMINUM CLAD OUTSIDE. COLOR TO MATCH EXISTING WINDOWS, WITH INSULATED LOW E GLASS, OIL RUBBED BRONZE HARDWARE TO MATCH EXISTING. WINDOWS SCREENS ARE PINE TO BE PAINTED THE TRIM COLOR, WITH 'BRIGHT BRONZE' INSECT SCREENS.
 GENERAL CONTRACTOR TO VIF ALL WINDOW SIZES BEFORE ORDERING; SUBMIT SHOP DRAWINGS FOR ALL WINDOWS AND DOORS PRIOR TO ORDERING ANY ITEM FOR ARCHITECT'S REVIEW.

NOTE:
 1) ALIGN WINDOW HEAD HEIGHTS AT THE ADDITIONS WITH EXISTING WINDOW HEAD HEIGHTS
 2) ALL NEW EXTERIOR WINDOW SILLS TO BE 2" THICK TO MATCH EXISTING WINDOW SILLS
 3) ALL NEW WINDOW OPENINGS TO HAVE 4 INCH FLAT TRIM TO MATCH EXISTING TRIM EXACTLY IN SIZE AND STYLE AT THE EXTERIOR, WITH COPPER CAP FLASHING ABOVE NEW WINDOWS

MIAN HOUSE DOOR TYPES



DOOR SCHEDULE - MAIN HOUSE

1ST FLOOR									
NO.	LOCATION	SIZE (VIF)		FINISH	TYPE	DOOR #	REMARKS		
		W	H						
D101	BEDROOM 4	2'-9 15/16"	6'-10 1/2"	WOOD / CLAD	C	MARVIN/2866	CLAD / INSWING / RH		
D102	BEDROOM 4	2'-6"	7'-0"	WOOD	A		RH		
D102-B	BEDROOM 4	2'-6"	2'-4"	WOOD	E		RH		
D103	BEDROOM 4	2'-6"	7'-0"	WOOD	A		LH		
D103-B	BEDROOM 4	2'-6"	2'-4"	WOOD	E		LH		
D104	LAUNDRY	3'-0"	7'-0"	WOOD	D		POCKET		
D105	HALL	2'-3"	7'-0"	WOOD	B		DOUBLE		
D106	BEDROOM 4	2'-10"	7'-0"	WOOD	A		RH		
D107	BATH 4	2'-6"	7'-0"	WOOD	A		LH		
D108	BEDROOM 1	3'-0"	7'-0"	WOOD	D		POCKET		

2ND FLOOR									
NO.	LOCATION	SIZE (VIF)		FINISH	TYPE	DOOR #	REMARKS		
		W	H						
D201	BEDROOM 5	2'-0"	7'-0"	WOOD	A		LH		
D202	BEDROOM 5	2'-0"	7'-0"	WOOD	A		RH		
D203	BATH 5	2'-6"	7'-0"	WOOD	A		LH		
D204	BEDROOM 5	2'-10"	7'-0"	WOOD	A		LH		
D205	HALL	2'-3"	7'-0"	WOOD	A		LH		
D205-B	HALL	2'-3"	1'-6"	WOOD	E		LH		
D206	HALL	2'-3"	7'-0"	WOOD	A		RH		
D206-B	HALL	2'-3"	1'-6"	WOOD	E		RH		
D207	HALL	2'-3"	7'-0"	WOOD	A		LH		
D207-B	HALL	2'-3"	1'-6"	WOOD	E		LH		
D208	HALL	2'-3"	7'-0"	WOOD	A		RH		
D208-B	HALL	2'-3"	1'-6"	WOOD	A		RH		
D209	BATH 2	2'-0"	7'-0"	WOOD	E		SALVAGED FROM BATH 2 CLOSET		

CELLAR									
NO.	LOCATION	SIZE (VIF)		FINISH	TYPE	DOOR #	REMARKS		
		W	H						
D001	MECH ROOM	3'-0"	6'-8"	STEEL	F		FIRE RATED TO CODE		

Architect:
KEVIN WOLFE ARCHITECT, PC
 337 Kenmore Road, Douglas Manor, NY
 Tel: 516.732.6961

2	9-15-25	ISSUED FOR CONSTRUCTION
1	8-15-25	ISSUED FOR PERMIT

CONSTRUCTION SET

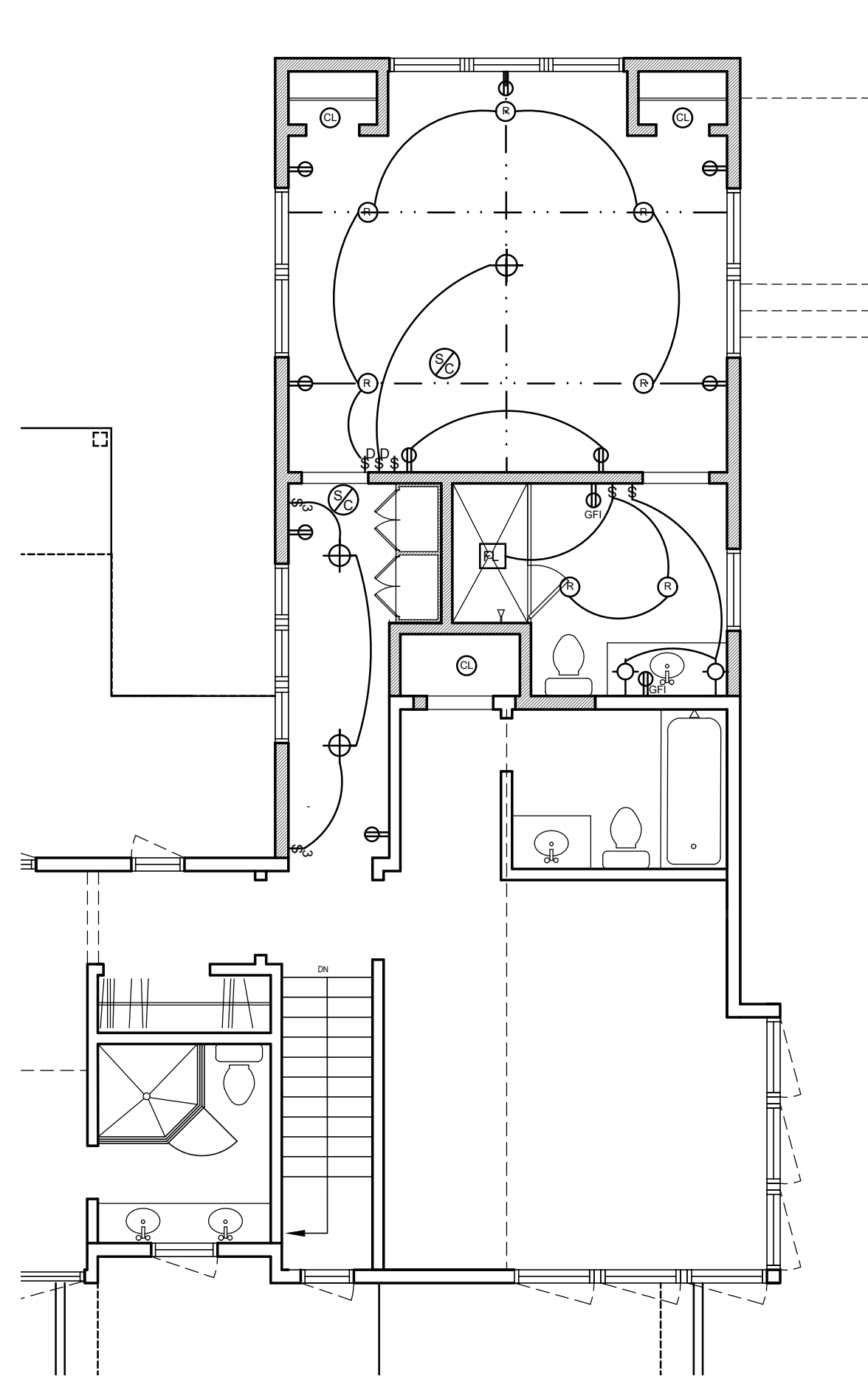
PROJECT:
BRONER RESIDENCE
 117 INTERLACKEN RD
 LAKEVILLE, CT

Dwg. Title
WINDOW & DOOR SCHEDULES

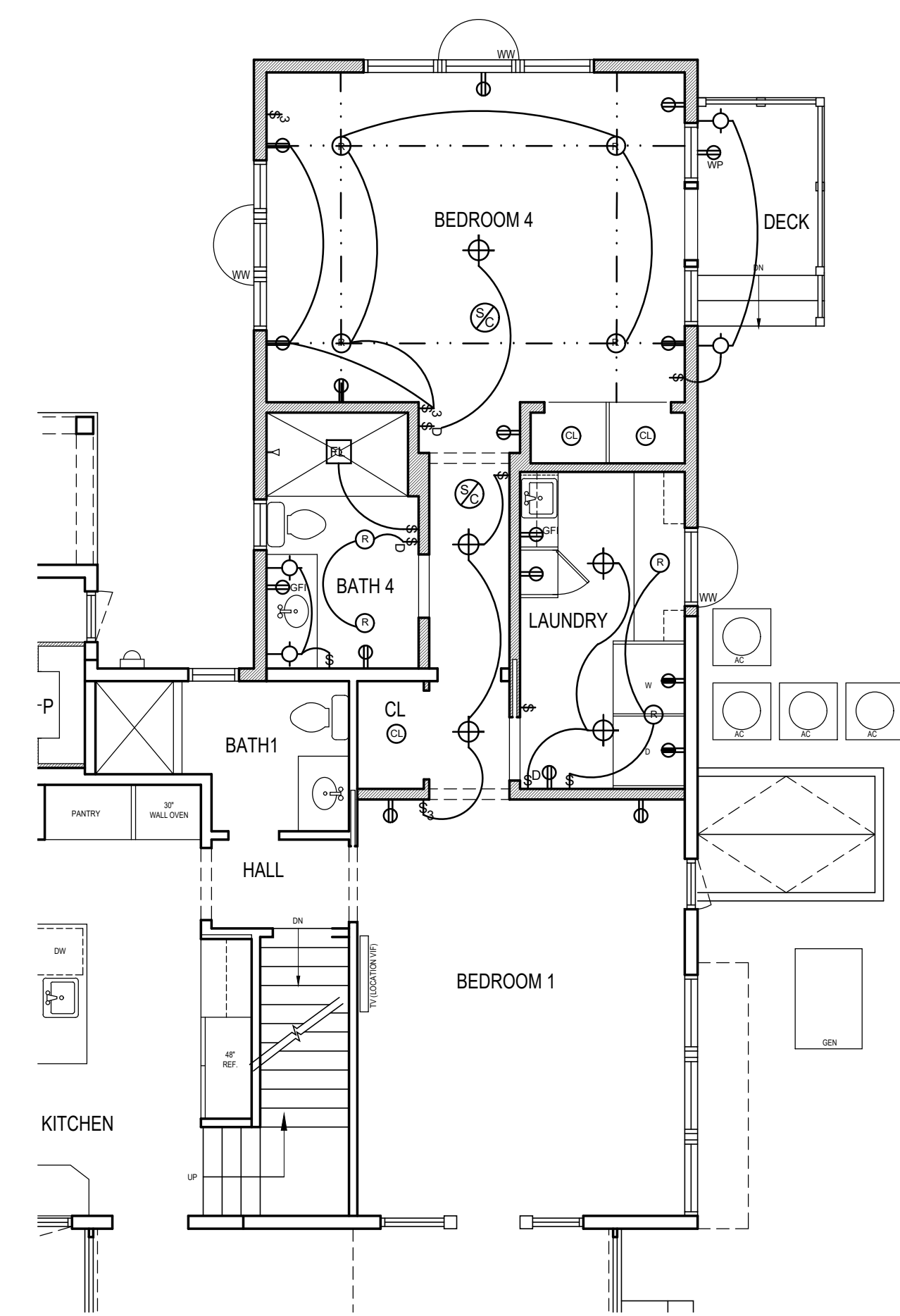
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 Drawing by: ASP
 Checked by: KW
 Dwg. No.
A-400.00

Cadfile:
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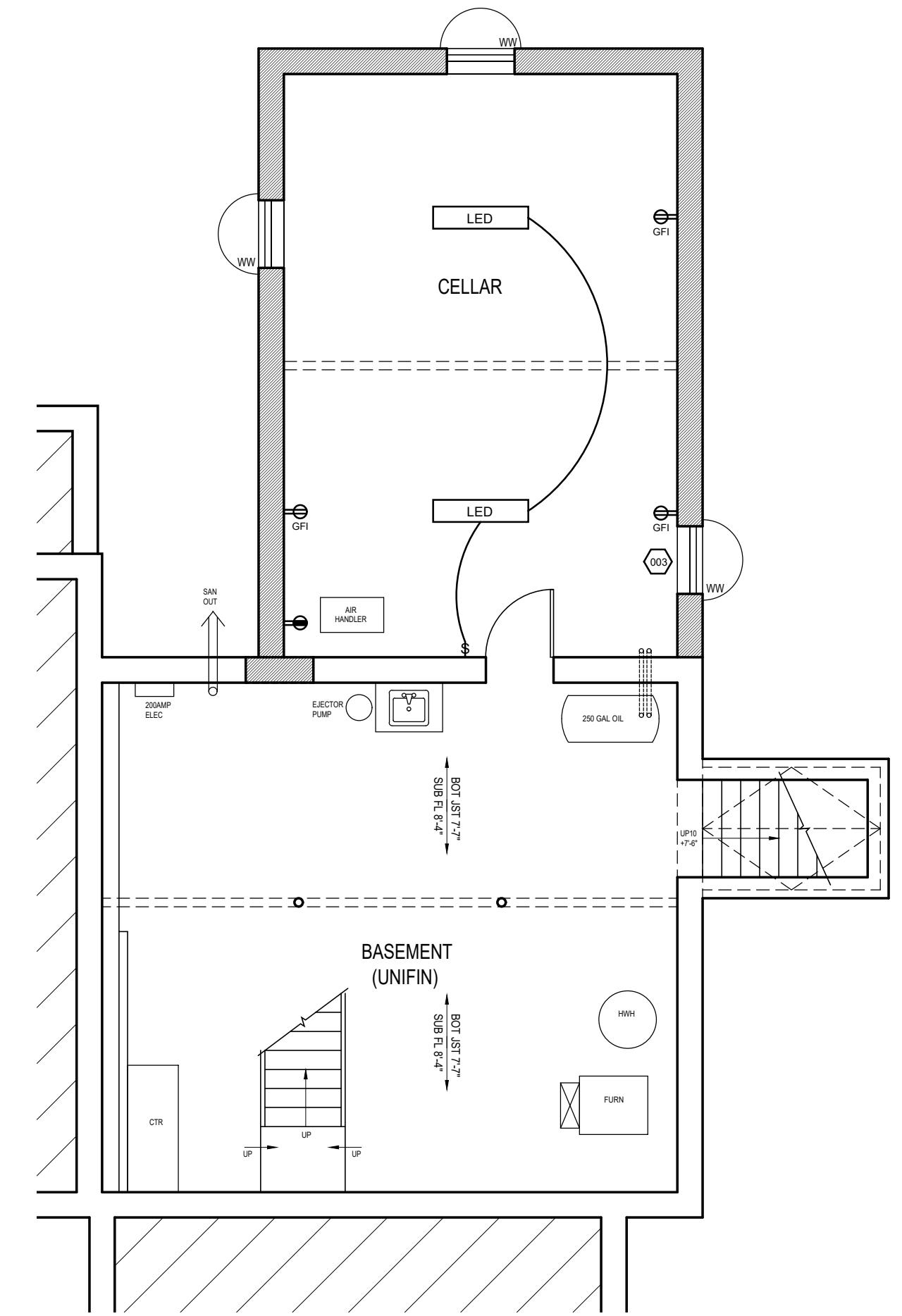
LEGEND	
⊞	SWITCH
⊞	DUPLEX RECEPTACLE
⊞	SPECIAL RECEPTACLE
GFI	GROUND FAULT INTER.
LED	LED
⊞	PENDANT LIGHT
⊞	SMOKE DETECTOR CARBON MONOXIDE
⊞	WALL SCONCE
⊞	CLOSET LIGHT
FL	FAN LIGHT
⊞	RECESSED LIGHT



BRONER - MAIN HOUSE
 ELECTRICAL - SECOND FLOOR 3/16" = 1'-0"



BRONER - MAIN HOUSE
 ELECTRICAL - FIRST FLOOR 3/16" = 1'-0"



BRONER - MAIN HOUSE
 ELECTRICAL - CELLAR PLAN 3/16" = 1'-0"

2	9-15-25	ISSUED FOR CONSTRUCTION
1	8-15-25	ISSUED FOR PERMIT

CONSTRUCTION SET

PROJECT:
BRONER RESIDENCE
 117 INTERLACKEN RD
 LAKEVILLE, CT

Dwg. Title
**MAIN HOUSE -
 PROPOSED ELECTRICAL
 PLANS**

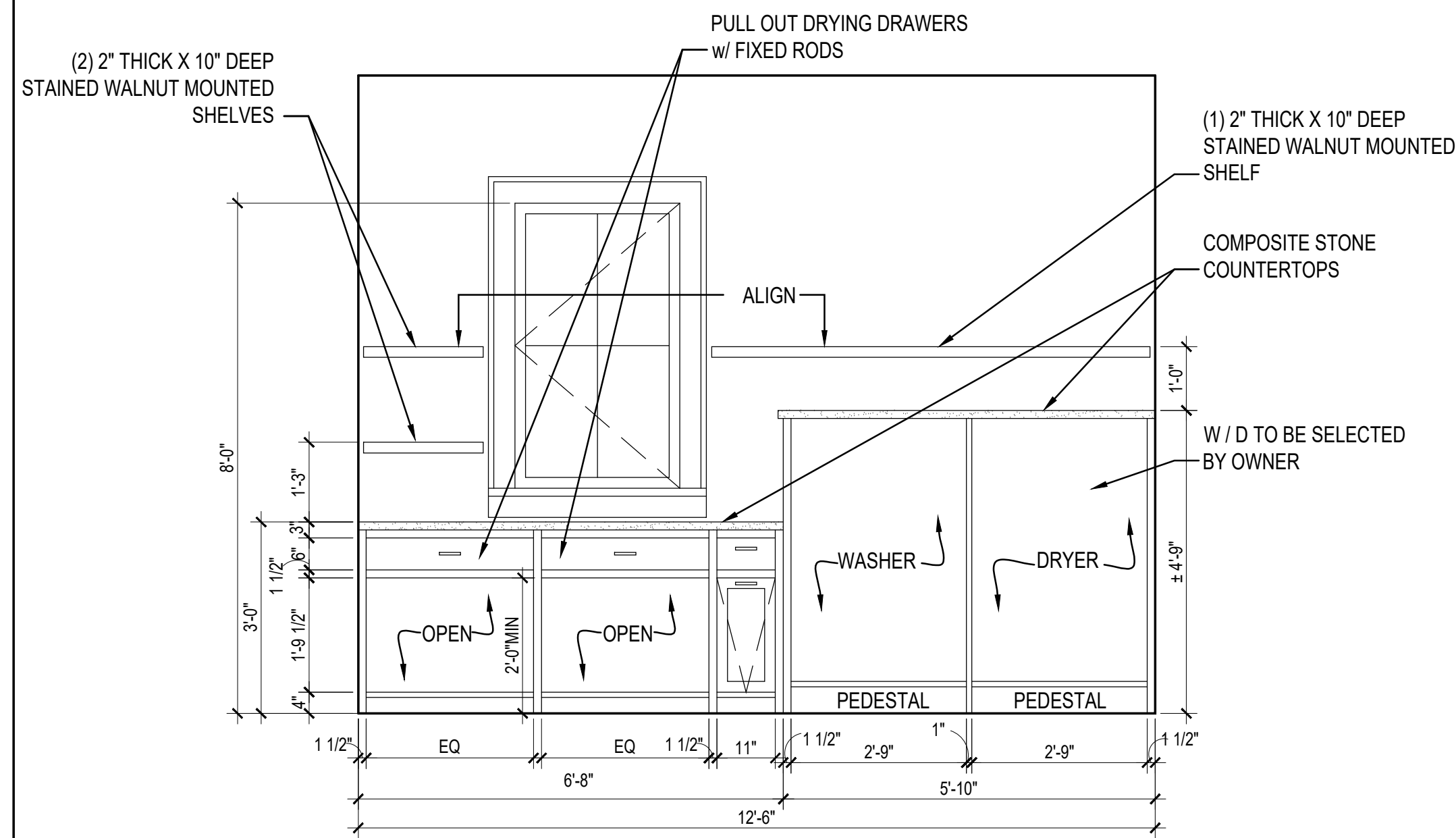
Seal & Signature	Date: 08-15-25
Project No.:	ASP
Drawing by:	KW
Checked by:	
Dwg. No.	E-100.00
Cadfile:	CONDOS-MAIN-PLANS-ELEVS.BRC

Architect :

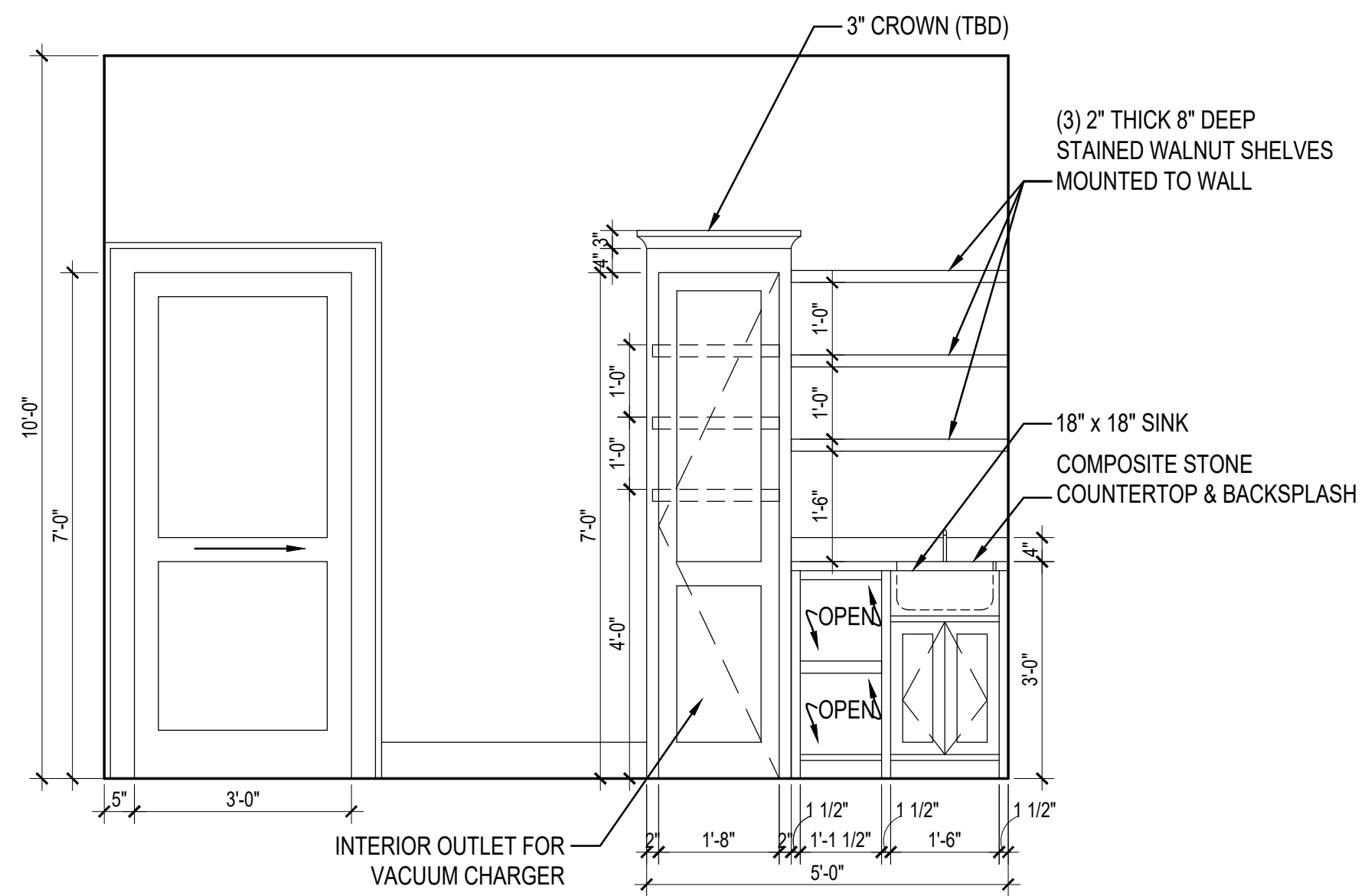
KEVIN WOLFE ARCHITECT, PC

337 Kenmore Road, Douglas Manor, NY

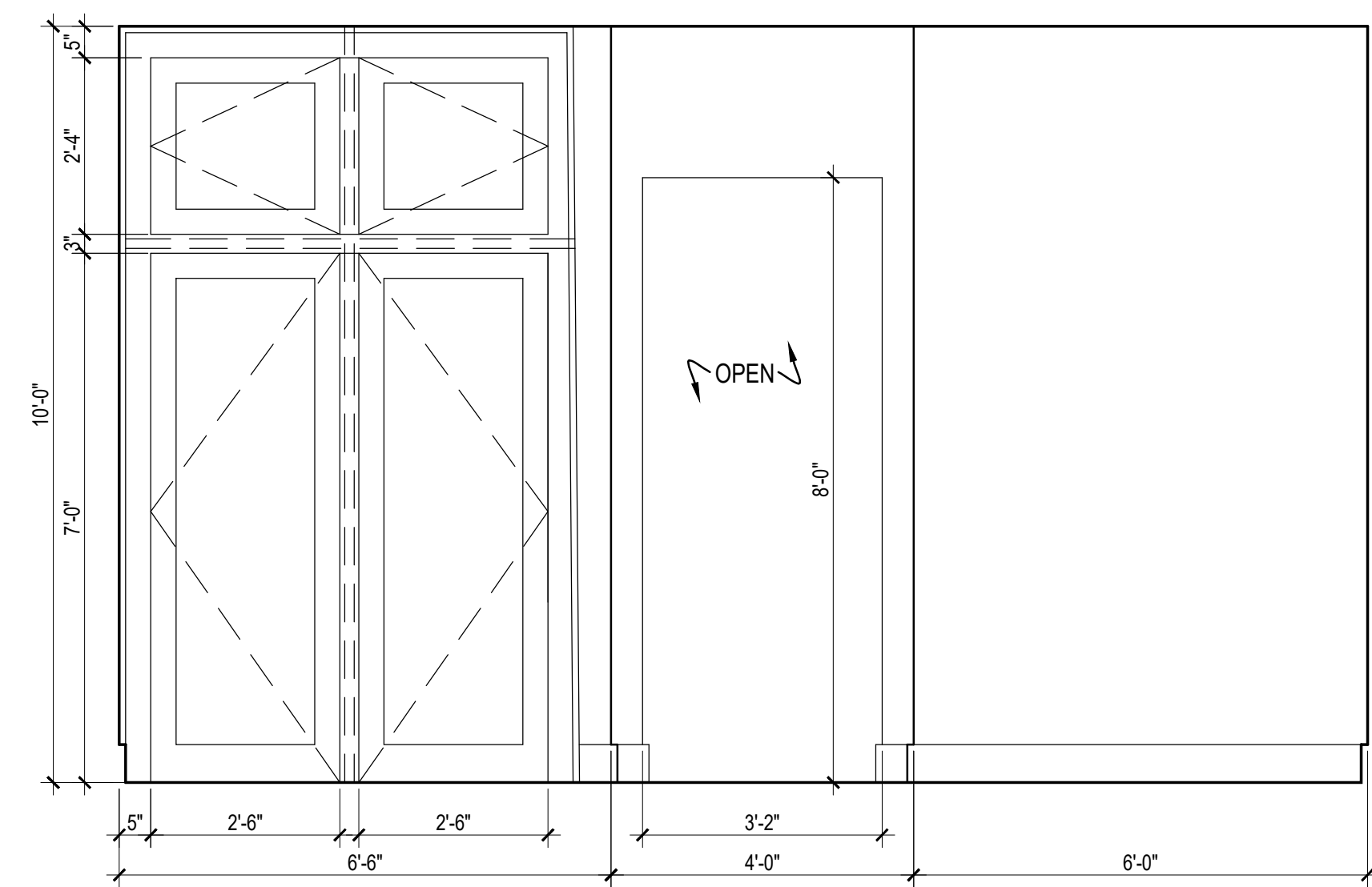
Tel: 516.732.6961



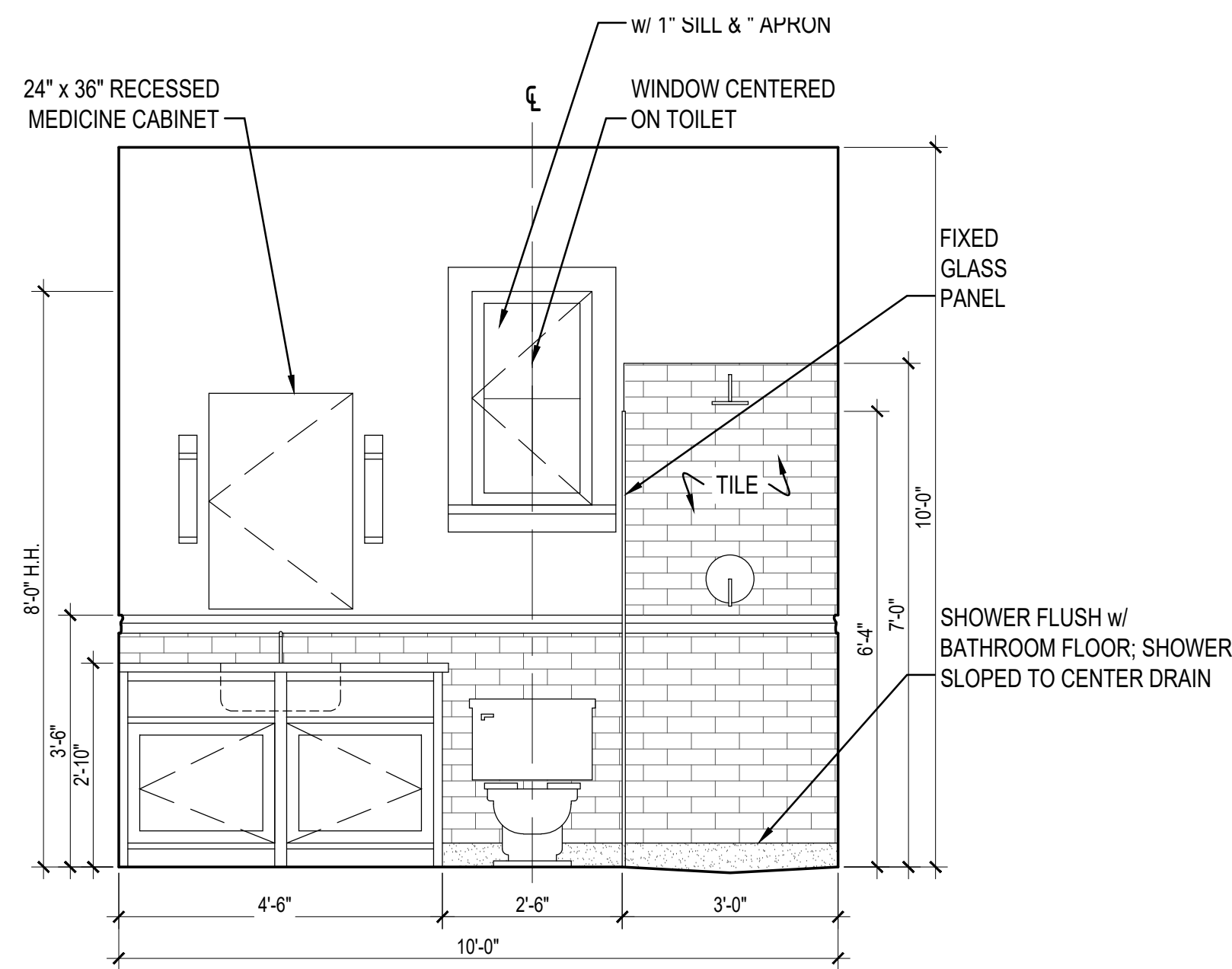
① LAUNDRY WEST ELEVATION 1/2" = 1'-0"



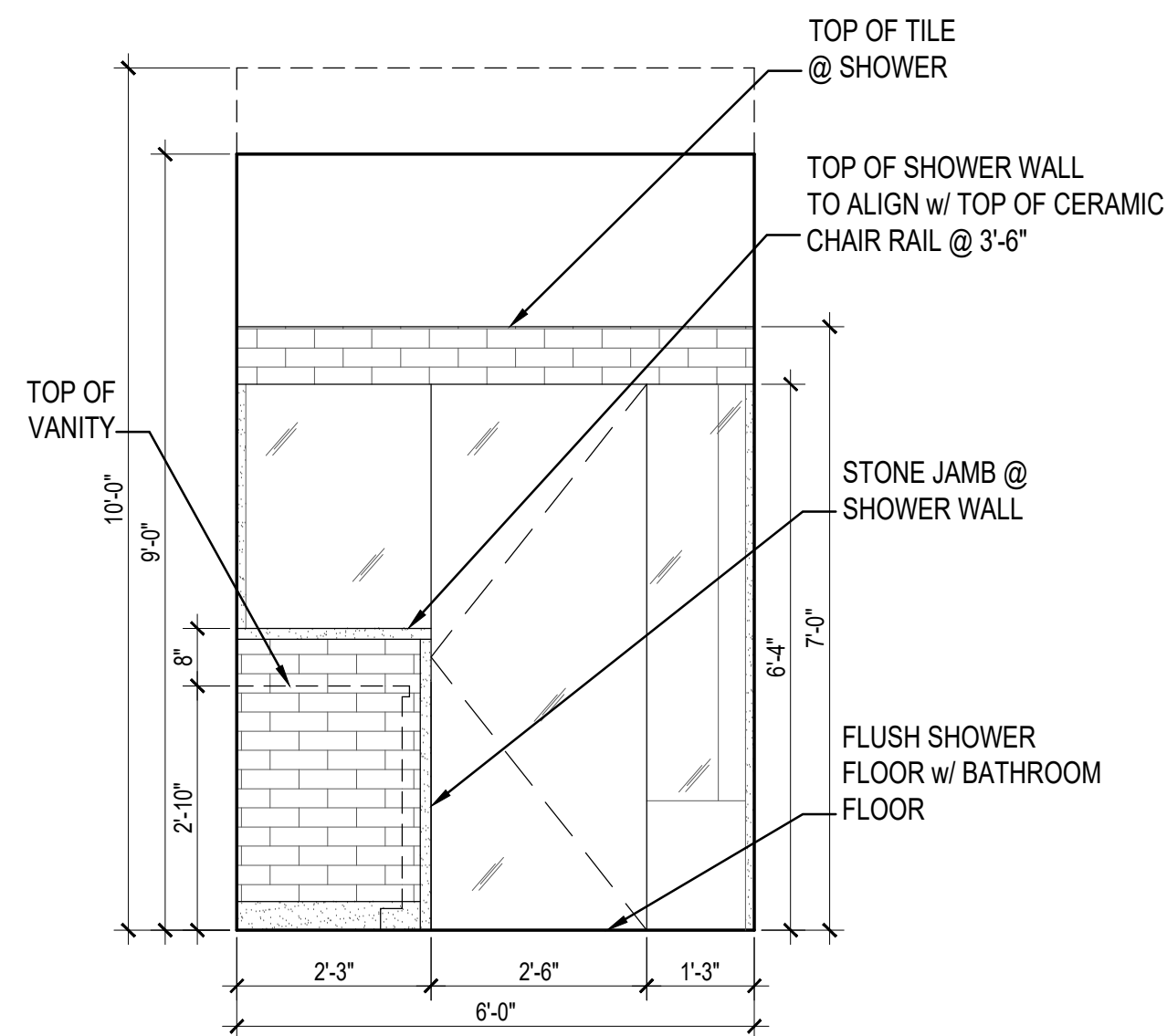
② LAUNDRY EAST ELEVATION 1/2" = 1'-0"



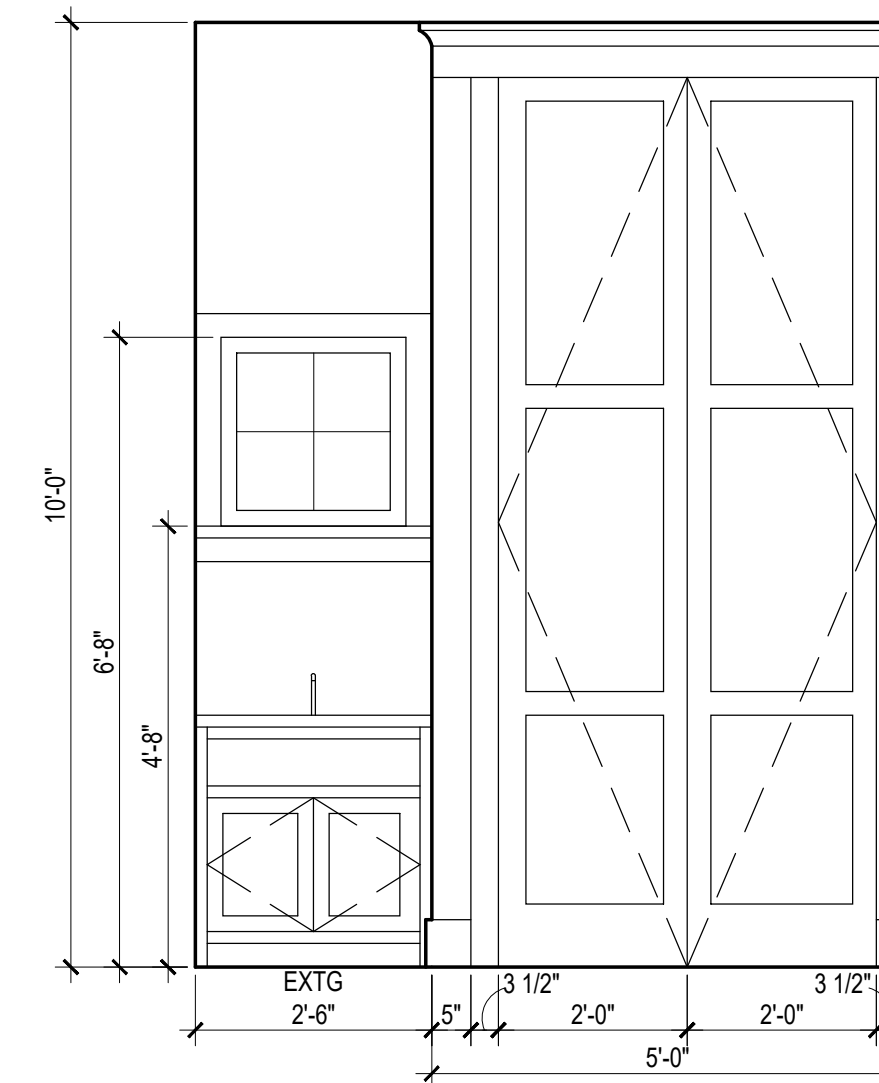
③ BEDROOM 4 SOUTH ELEVATION 1/2" = 1'-0"



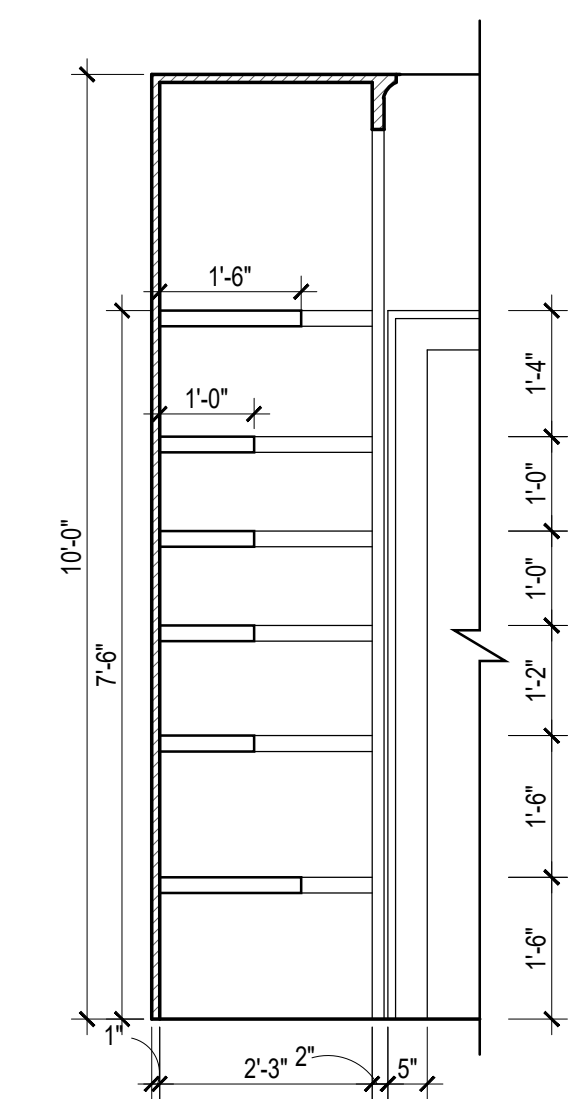
④ BATH 4 EAST ELEVATION 1/2" = 1'-0"



⑤ BATH 4 SOUTH ELEVATION 1/2" = 1'-0"



⑥ PANTRY WEST ELEVATION 1/2" = 1'-0"



⑦ PANTRY SECTION NORTH ELEVATION 1/2" = 1'-0"

2	9-15-25	ISSUED FOR CONSTRUCTION
1	8-15-25	ISSUED FOR PERMIT

CONSTRUCTION SET

PROJECT:

BRONER RESIDENCE

117 INTERLACKEN RD
LAKEVILLE, CT

Dwg. Title

MAIN HOUSE - INTERIOR ELEVATIONS - FIRST FLOOR

Scale & Signature

Date: 08-15-25

Project No.:

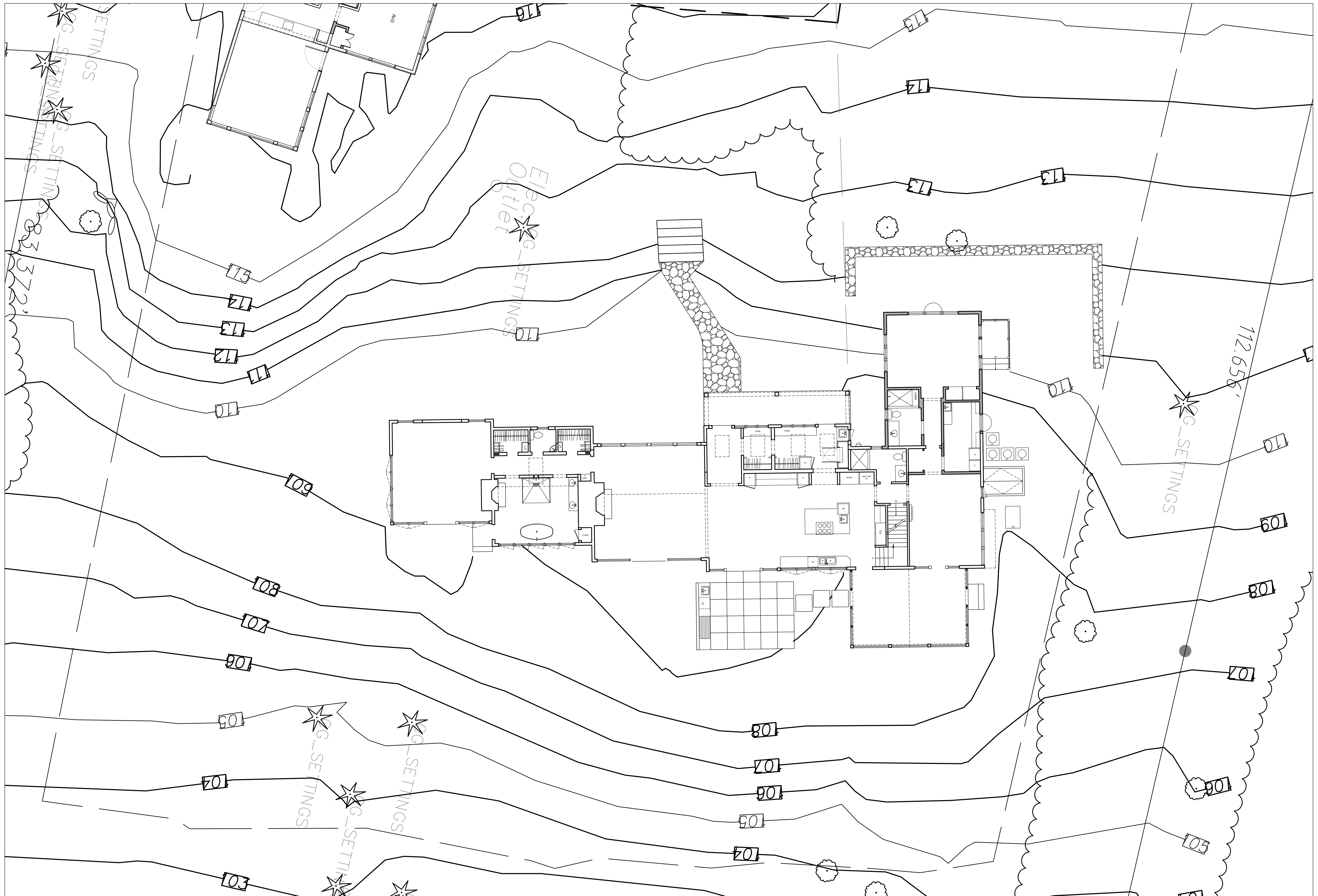
Drawing by: ASP

Checked by: KW

Dwg. No.

I-100.00

Cadfile:
CONDOS-MAIN-PLANS-ELEVS.BPC



Architect:
KEVIN WOLFE ARCHITECT, PC
 337 Kenmore Road, Douglas Manor, NY
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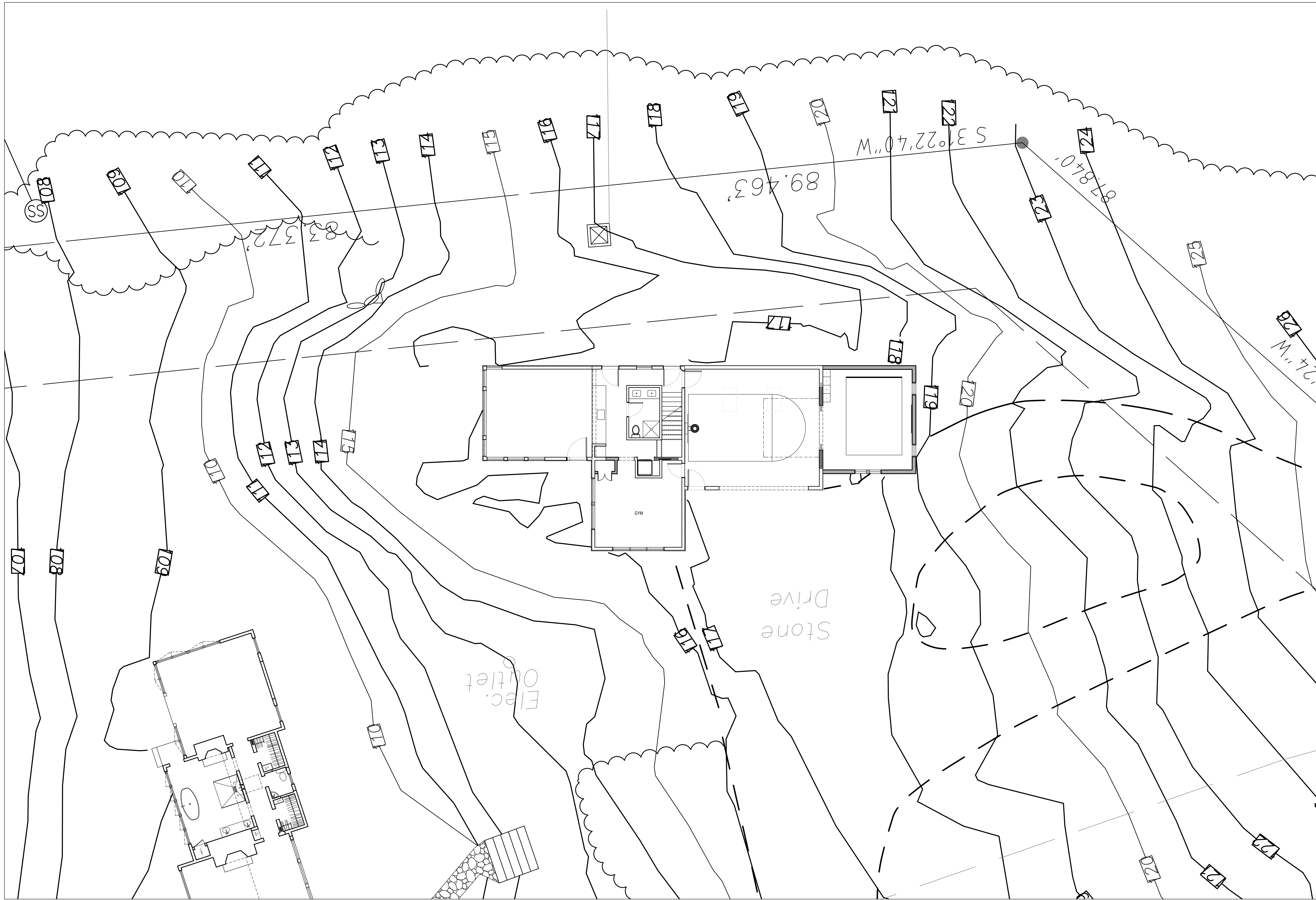
2	9-15-25	ISSUED FOR CONSTRUCTION
1	8-15-25	ISSUED FOR PERMIT

CONSTRUCTION SET

PROJECT:
BRONER RESIDENCE
 117 INTERLACKEN RD
 LAKEVILLE, CT

Dwg. Title
MAIN HOUSE - PROPOSED SITE PLAN OVERVIEW

Scale & Signature
 Date: 08-15-25
 Project No.:
 Drawing by: ASP
 Checked by: KW
 Dwg. No.
L-101.00
 Cadfile:
 CONDOCS-L-101 & L-102.PAVING



Architect :

KEVIN WOLFE ARCHITECT, PC

337 Kenmore Road, Douglas Manor, NY

Tel: 516.732.6961

2	9-15-25	ISSUED FOR CONSTRUCTION
1	8-15-25	ISSUED FOR PERMIT

CONSTRUCTION SET

PROJECT:

BRONER RESIDENCE

117 INTERLACKEN RD
LAKEVILLE, CT

Dwg. Title

GUEST HOUSE -
PROPOSED SITE
PLAN OVERVIEW

Scale & Signature

Date: 08-15-25

Project No.:

Drawing by: ASP

Checked by: KW

Dwg. No.

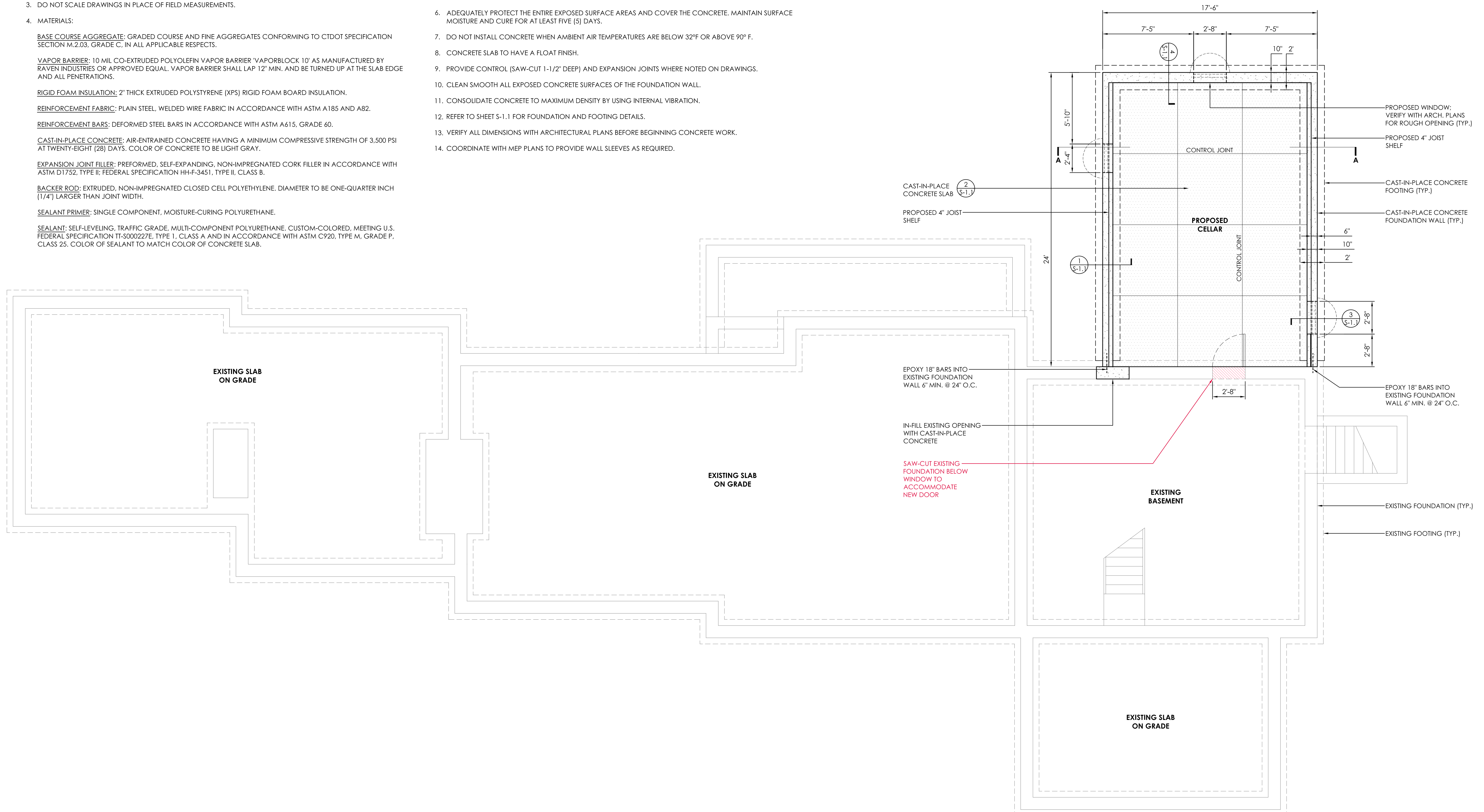
L-102.00

Cadfile:

CONDOCS-L-101 & L-102_PAVING.dwg

GENERAL CONCRETE NOTES

1. FOOTINGS ARE INTENDED TO BEAR ON UNDISTURBED MATERIAL. CONTRACTOR SHALL NOTIFY THE ENGINEER WHERE PROPOSED FOOTING ELEVATIONS WOULD BEAR ON UNSUITABLE MATERIAL AND PROCEED ONLY AS DIRECTED. THE TOP OF ALL FOOTINGS SHALL BE A MINIMUM OF 3'-6" BELOW FINISHED GRADE.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, QUANTITIES, AND DETAILS.
3. DO NOT SCALE DRAWINGS IN PLACE OF FIELD MEASUREMENTS.
4. MATERIALS:
 - BASE COURSE AGGREGATE: GRADED COURSE AND FINE AGGREGATES CONFORMING TO CTDOT SPECIFICATION SECTION M.2.03, GRADE C, IN ALL APPLICABLE RESPECTS.
 - VAPOR BARRIER: 10 MIL CO-EXTRUDED POLYOLEFIN VAPOR BARRIER "VAPORBLOCK 10" AS MANUFACTURED BY RAVEN INDUSTRIES OR APPROVED EQUAL. VAPOR BARRIER SHALL LAP 12" MIN. AND BE TURNED UP AT THE SLAB EDGE AND ALL PENETRATIONS.
 - RIGID FOAM INSULATION: 2" THICK EXTRUDED POLYSTYRENE (XPS) RIGID FOAM BOARD INSULATION.
 - REINFORCEMENT FABRIC: PLAIN STEEL, WELDED WIRE FABRIC IN ACCORDANCE WITH ASTM A185 AND A82.
 - REINFORCEMENT BARS: DEFORMED STEEL BARS IN ACCORDANCE WITH ASTM A615, GRADE 60.
 - CAST-IN-PLACE CONCRETE: AIR-ENTRAINED CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT TWENTY-EIGHT (28) DAYS. COLOR OF CONCRETE TO BE LIGHT GRAY.
 - EXPANSION JOINT FILLER: PREFORMED, SELF-EXPANDING, NON-IMPREGNATED CORK FILLER IN ACCORDANCE WITH ASTM D1752, TYPE II; FEDERAL SPECIFICATION HH-F-3451, TYPE II, CLASS B.
 - BACKER ROD: EXTRUDED, NON-IMPREGNATED CLOSED CELL POLYETHYLENE. DIAMETER TO BE ONE-QUARTER INCH (1/4") LARGER THAN JOINT WIDTH.
 - SEALANT PRIMER: SINGLE COMPONENT, MOISTURE-CURING POLYURETHANE.
 - SEALANT: SELF-LEVELING, TRAFFIC GRADE, MULTI-COMPONENT POLYURETHANE, CUSTOM-COLORED, MEETING U.S. FEDERAL SPECIFICATION TT-S000227E, TYPE I, CLASS A AND IN ACCORDANCE WITH ASTM C920, TYPE M, GRADE P, CLASS 25. COLOR OF SEALANT TO MATCH COLOR OF CONCRETE SLAB.
5. OVER A PROPERLY EXCAVATED AND PREPARED SUBGRADE INSTALL COMPACTED AGGREGATE BASE COURSE, CONCRETE FOOTINGS, AND CONCRETE SLAB WHERE NOTED AND AS DETAILED ON DRAWINGS. INSTALL BASE COURSE, CONCRETE, AND REINFORCEMENT TO THE REQUIRED LINE, GRADE, AND CROSS SECTION. INSTALL REINFORCEMENT FABRIC AND BARS ON CHAIRS OR MASONRY BLOCKS. DO NOT PLACE REINFORCEMENT FABRIC AND BARS DIRECTLY ON TOP OF THE BASE COURSE OR RAISE REINFORCEMENT BY HAND AFTER CONCRETE HAS BEEN PLACED.
6. ADEQUATELY PROTECT THE ENTIRE EXPOSED SURFACE AREAS AND COVER THE CONCRETE. MAINTAIN SURFACE MOISTURE AND CURE FOR AT LEAST FIVE (5) DAYS.
7. DO NOT INSTALL CONCRETE WHEN AMBIENT AIR TEMPERATURES ARE BELOW 32°F OR ABOVE 90° F.
8. CONCRETE SLAB TO HAVE A FLOAT FINISH.
9. PROVIDE CONTROL (SAW-CUT 1-1/2" DEEP) AND EXPANSION JOINTS WHERE NOTED ON DRAWINGS.
10. CLEAN SMOOTH ALL EXPOSED CONCRETE SURFACES OF THE FOUNDATION WALL.
11. CONSOLIDATE CONCRETE TO MAXIMUM DENSITY BY USING INTERNAL VIBRATION.
12. REFER TO SHEET S-1.1 FOR FOUNDATION AND FOOTING DETAILS.
13. VERIFY ALL DIMENSIONS WITH ARCHITECTURAL PLANS BEFORE BEGINNING CONCRETE WORK.
14. COORDINATE WITH MEP PLANS TO PROVIDE WALL SLEEVES AS REQUIRED.



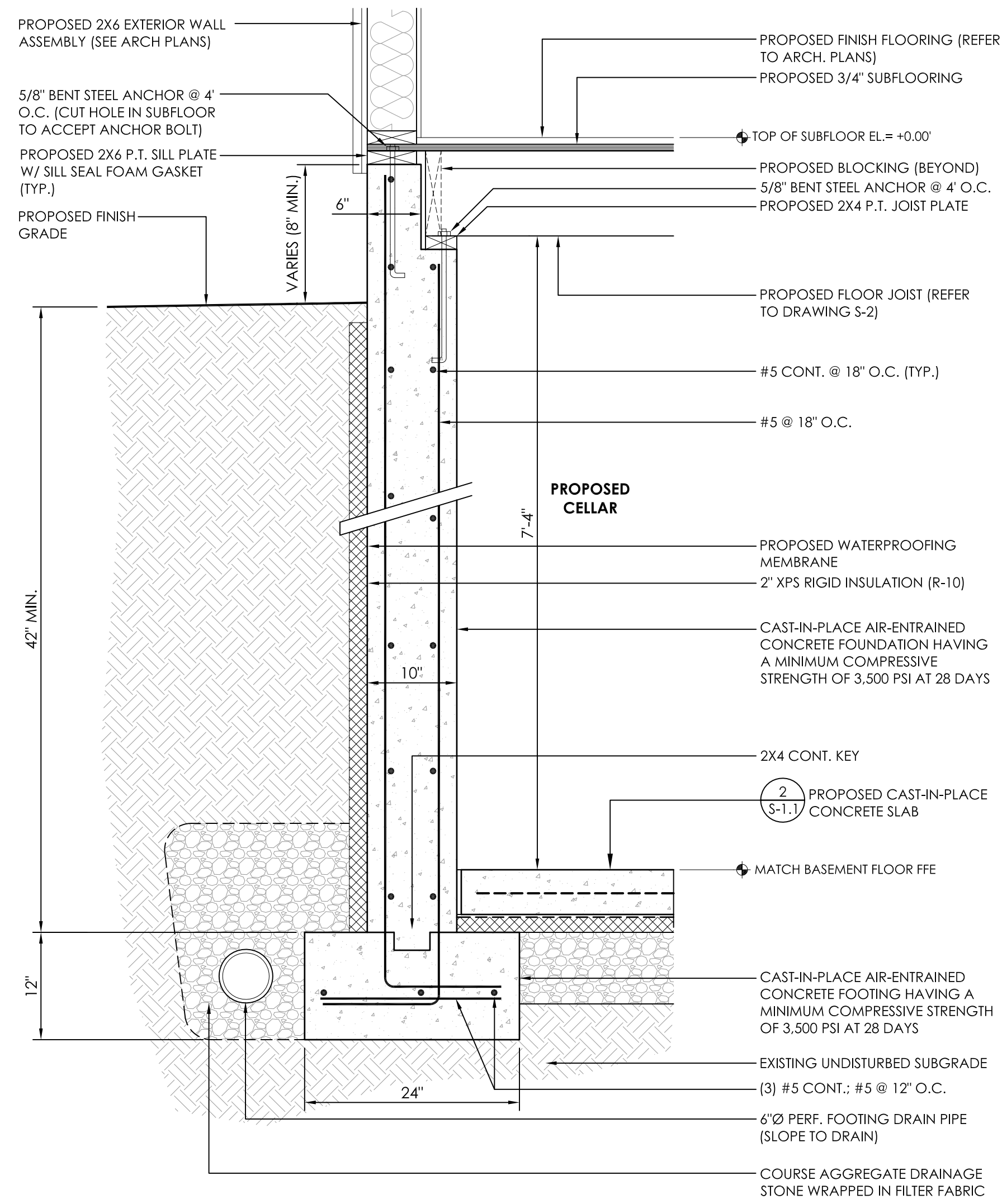
AEI

Allied Engineering Assoc., Inc.
 95 Main St., 3rd Fl., East
 P.O. Box 770, Northford, CT 06401
 860-824-1400 860-824-1401 fax
 aei.george@gmail.com

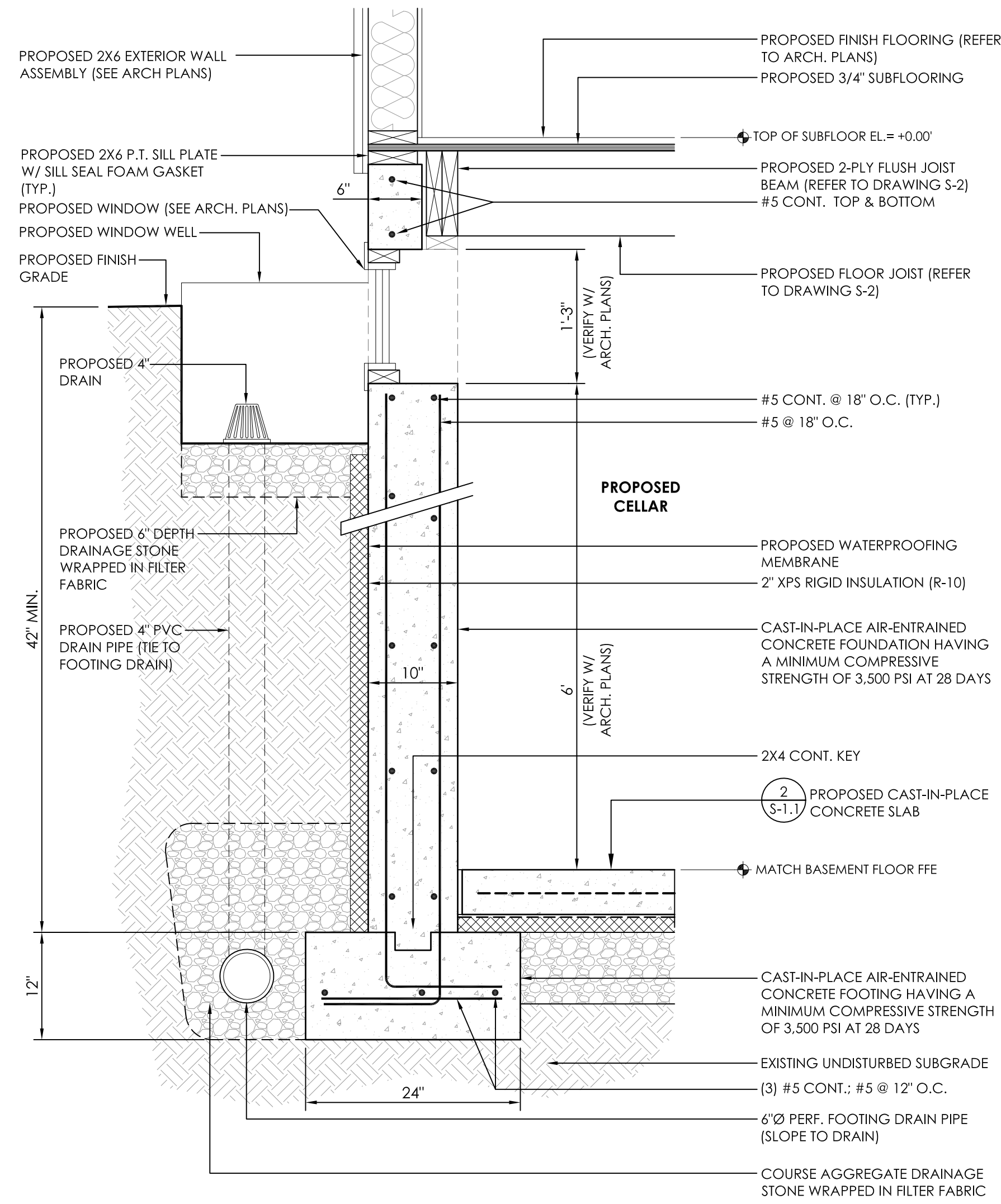
REVISION NUMBER	DESCRIPTION	DATE	INITIAL

BRONER RESIDENCE (MAIN HOUSE)
PROPOSED FOUNDATION PLAN
 PREPARED FOR:
 JAMES & MIRIAM BRONER
 117 INTERLAKEN ROAD
 LAKEVILLE, CT

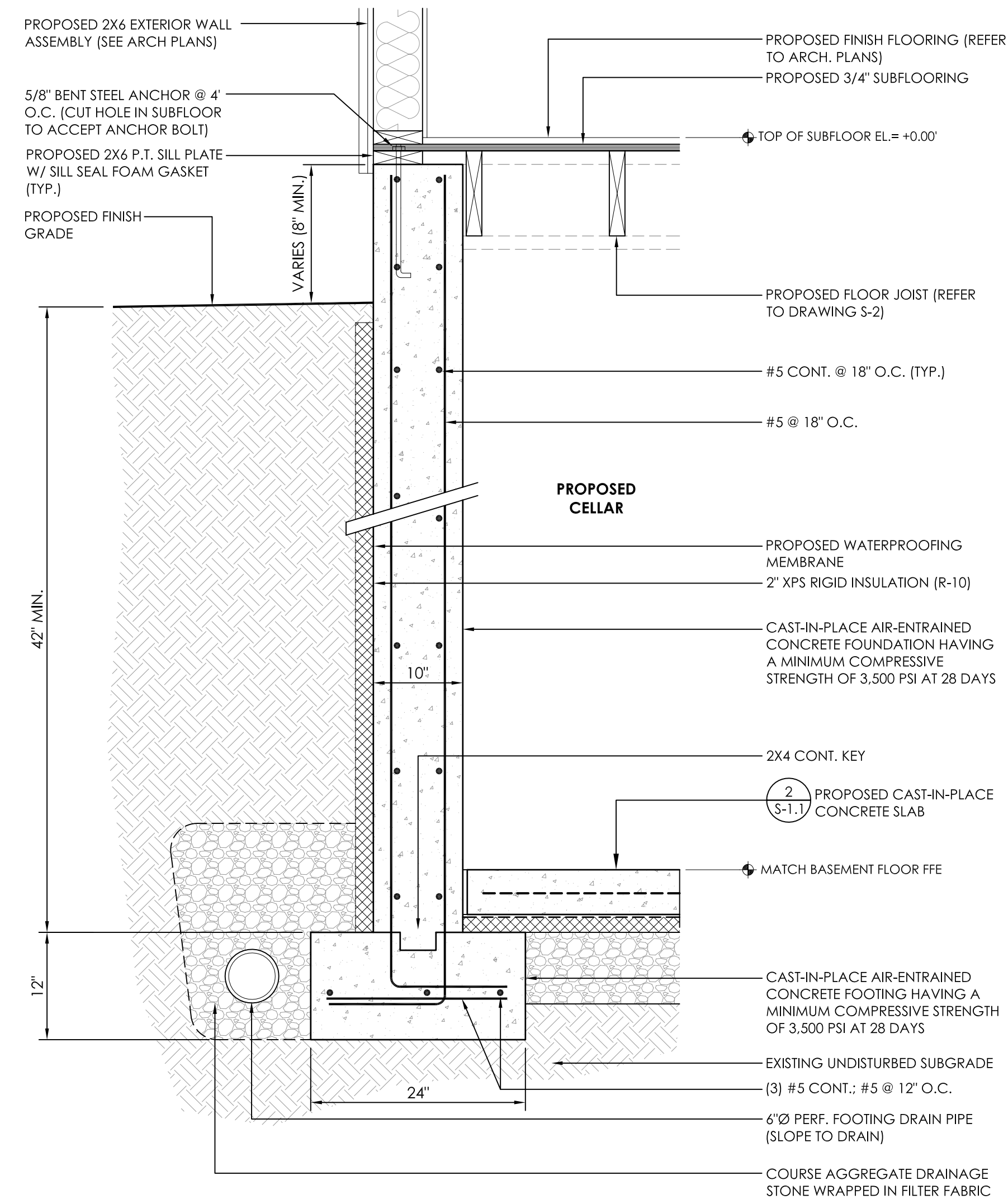
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 PROJECT NO. 1163
 DRAWING NO. S-1



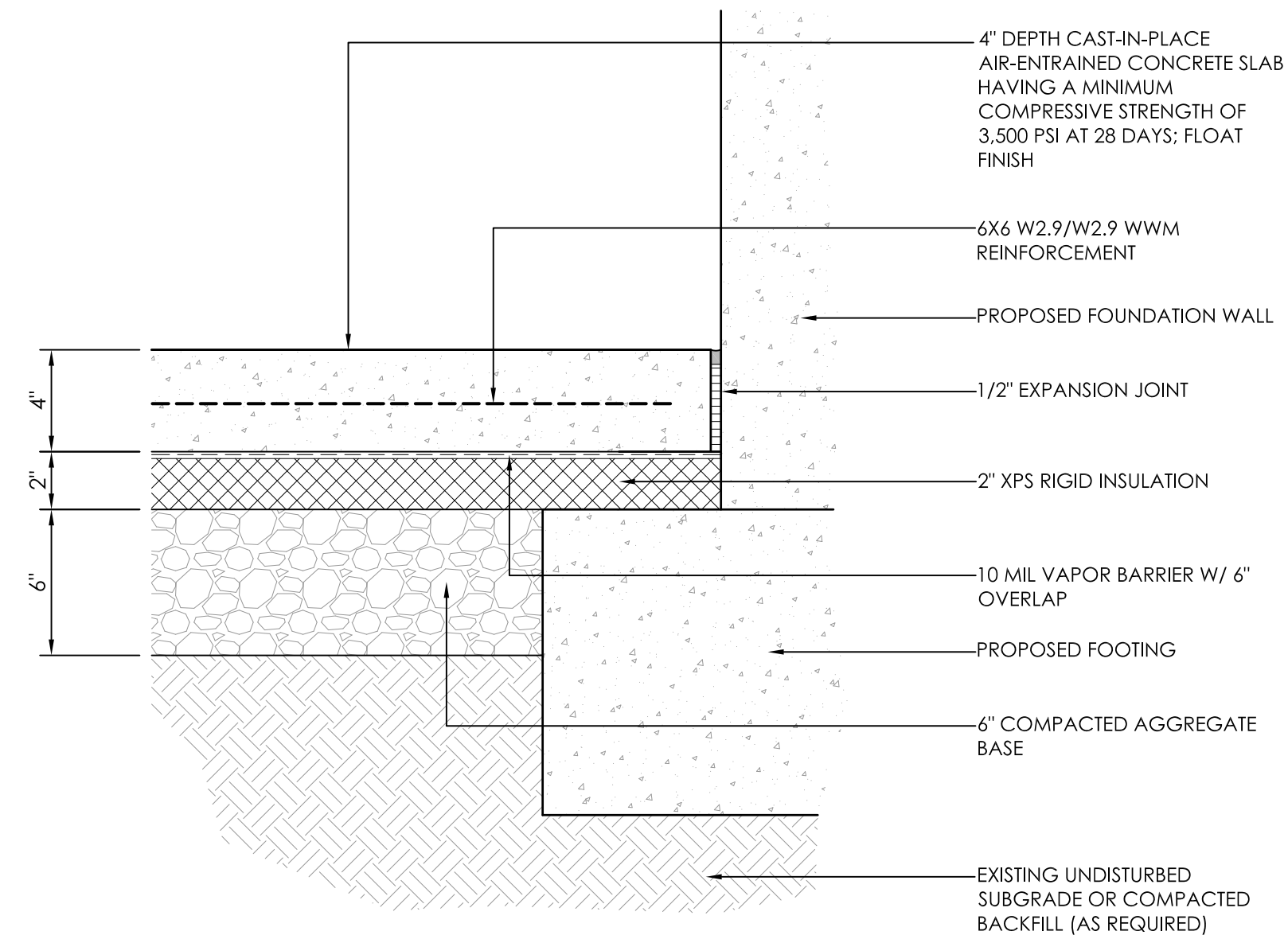
1 CAST-IN-PLACE CONCRETE WALL
S-1.1 NOT TO SCALE



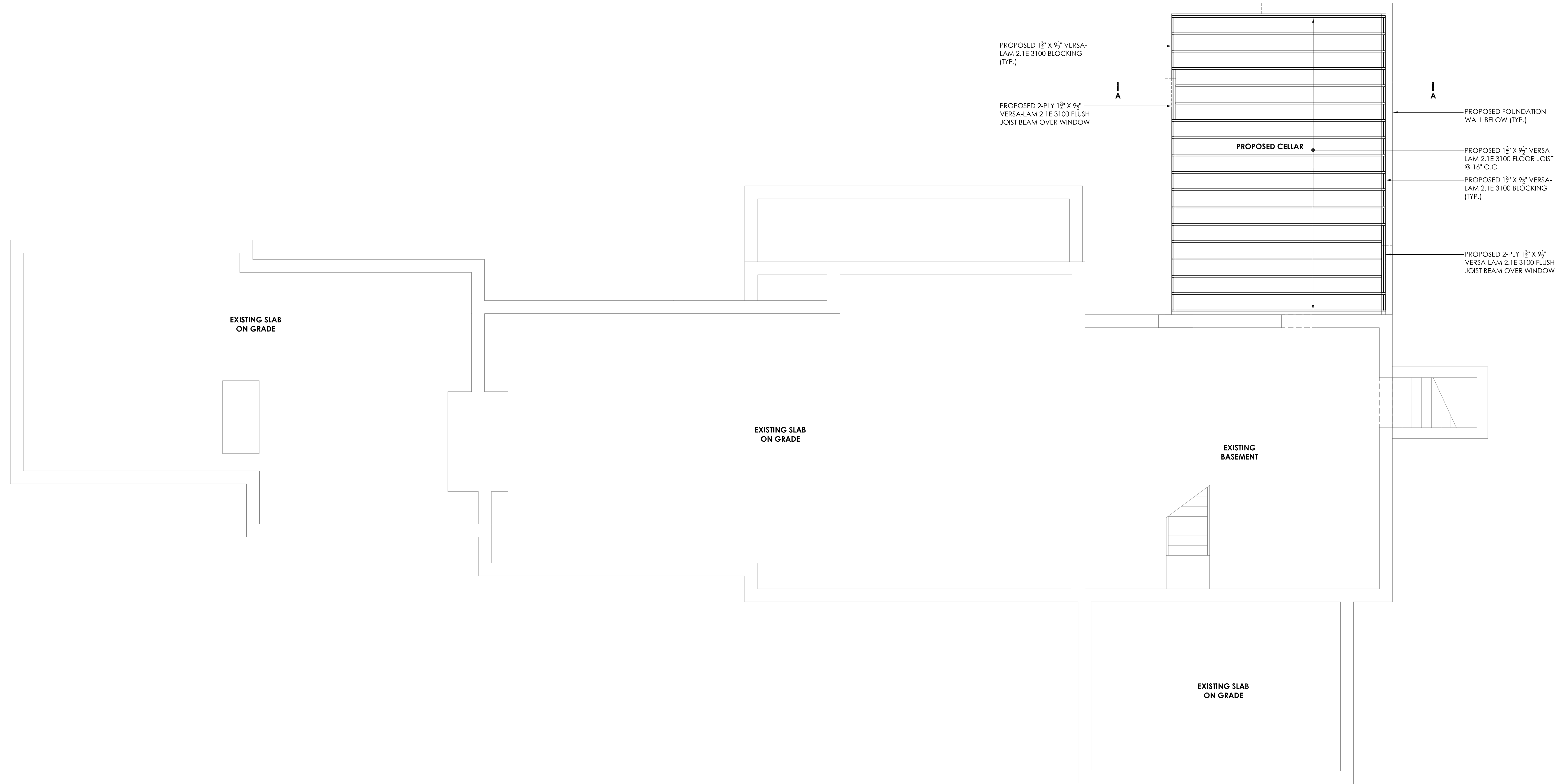
3 CAST-IN-PLACE CONCRETE WALL @ BASEMENT WINDOW
S-1.1 NOT TO SCALE



4 CAST-IN-PLACE CONCRETE WALL
S-1.1 NOT TO SCALE



2 CAST-IN-PLACE CONCRETE SLAB
S-1.1 NOT TO SCALE



SEA



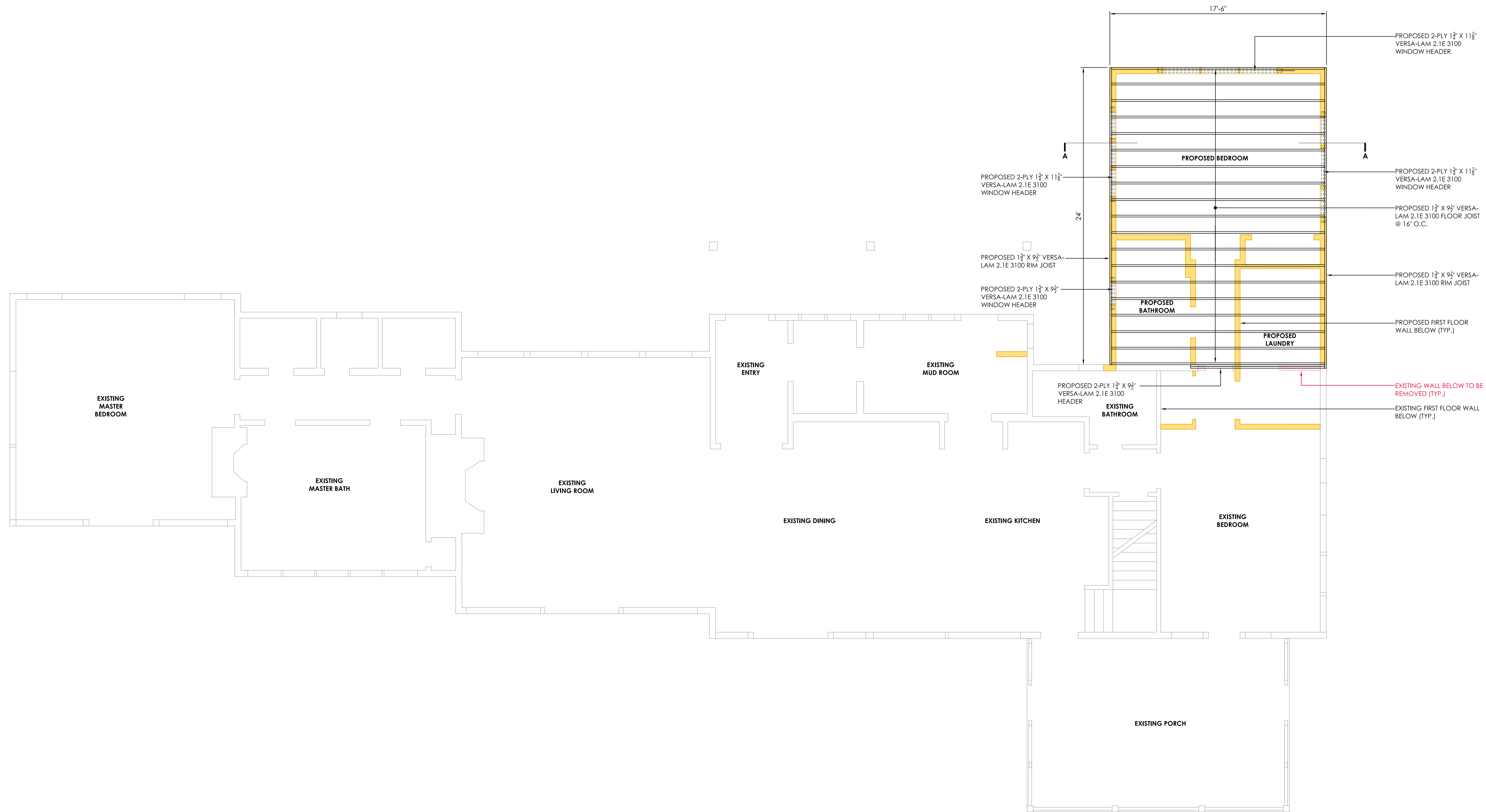
REVISION NUMBER - DESCRIPTION - DATE - INITIAL

BRONER RESIDENCE (MAIN HOUSE)
PROPOSED FIRST FLOOR FRAMING PLAN
 PREPARED FOR:
 JAMES & MIRIAM BRONER
 117 INTERLAKEN ROAD
 LAKEVILLE, CT

SCALE: 1/4" = 1'-0"
 FILE NAME: 1163-STRUCTURAL 1
 DATE: 3/13/2026
 ISSUED FOR: PERMITTING

PROJECT NO. 1163

DRAWING NO. S-2



SEA

AEEA
 Allied Engineering Assoc. Inc.
 95 Main St., 2nd Fl. East
 P.O. Box 770, Torrington, CT 06018
 860-824-1400 and 860-824-1401 fax
 aea.george@gmail.com

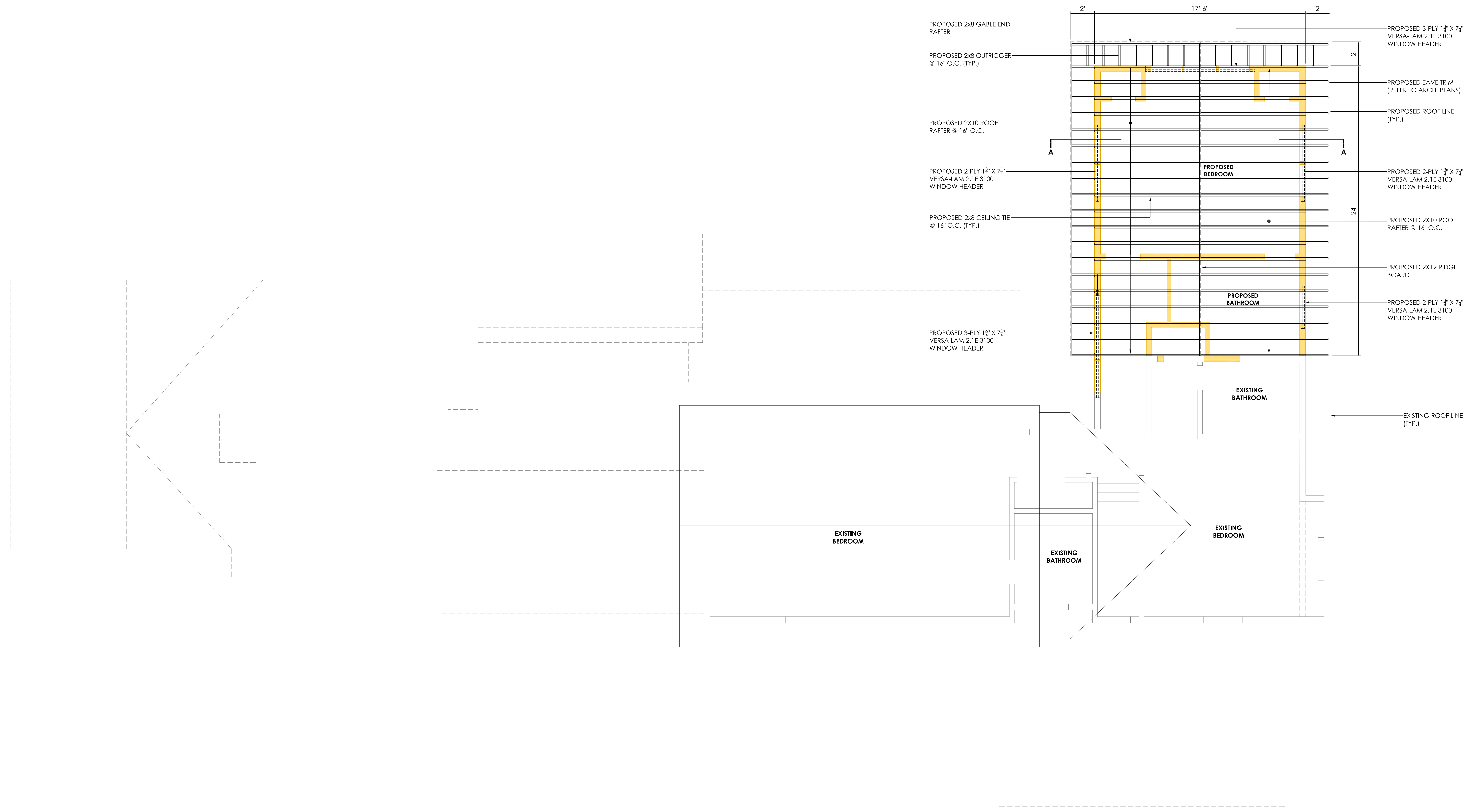
REVISIONS - DESCRIPTION - DATE - INITIAL

BRONER RESIDENCE (MAIN HOUSE)
PROPOSED SECOND FLOOR FRAMING PLAN
 PREPARED FOR:
 JAMES & MIRIAM BRONER
 117 INTERLAKEN ROAD
 LAKEVILLE, CT

SCALE: 1/4" = 1'-0"
 FILE NAME: 1163-STRUCTURAL 1
 DATE: 3/13/2026
 ISSUED FOR: PERMITTING

PROJECT NO. 1163

DRAWING NO. S-3



SEA

AEFA
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 aeaf.assoc@gmail.com

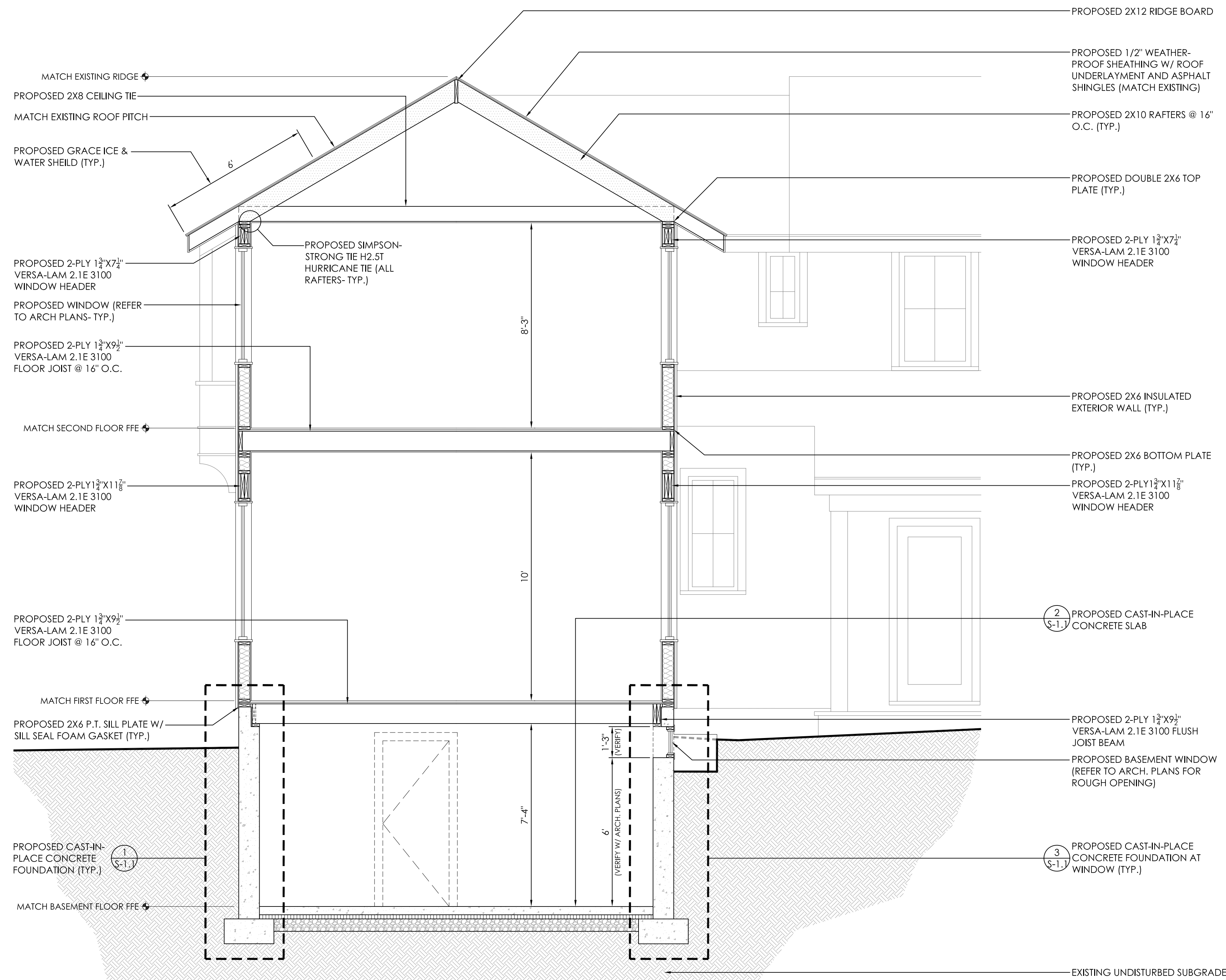
REVISIONS - DESCRIPTION - DATE - INITIAL

BRONER RESIDENCE (MAIN HOUSE)
PROPOSED ROOF FRAMING PLAN
 PREPARED FOR:
 JAMES & MIRIAM BRONER
 117 INTERLAKEN ROAD
 LAKEVILLE, CT

SCALE: 1/4"=1'-0"
 FILE NAME: 1163-STRUCTURAL 1
 DATE: 3/13/2026
 ISSUED FOR: PERMITTING

PROJECT NO. 1163

DRAWING NO. S-4



SEA

AEEA
 Allied Engineering Assoc. Inc.
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 770 North Main St., CT 06018
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 aea.george@gmail.com

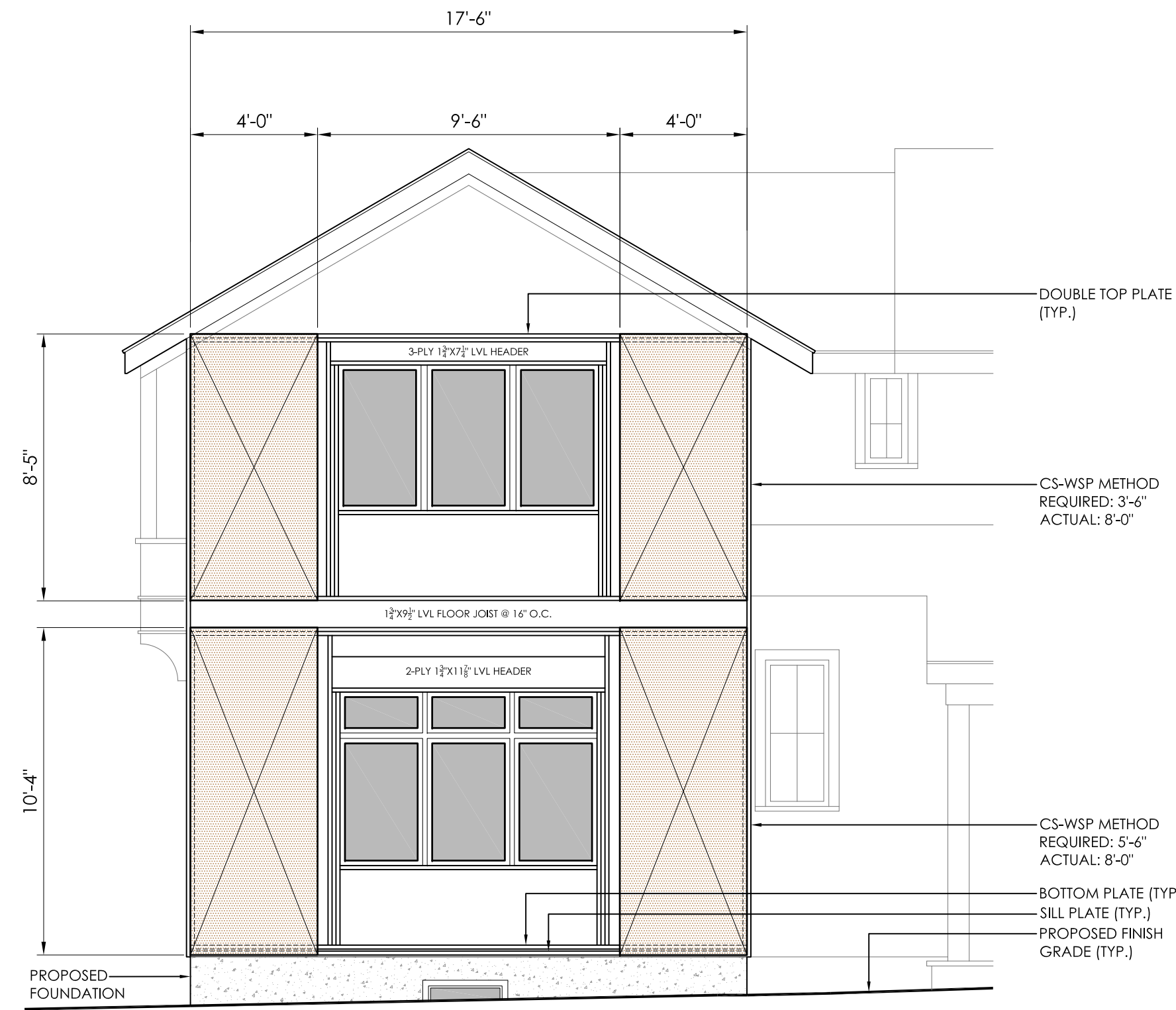
REVISIONS
 NUMBER - DESCRIPTION - DATE - INITIAL

BRONER RESIDENCE (MAIN HOUSE)
PROPOSED SECTION A-A
 PREPARED FOR:
 JAMES & MIRIAM BRONER
 117 INTERLAKEN ROAD
 LAKEVILLE, CT

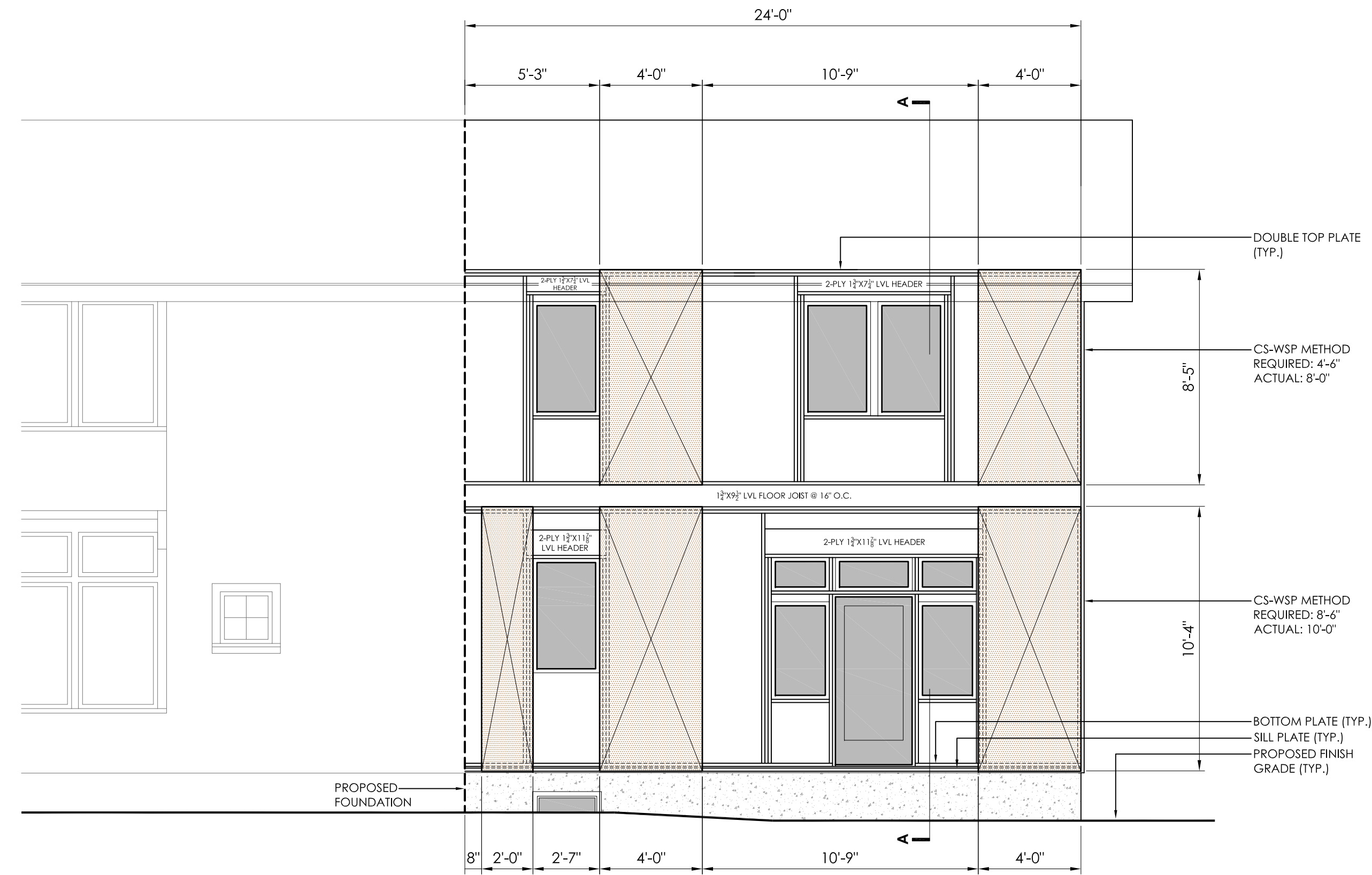
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 DATE: 3/13/2026
 ISSUED FOR: PERMITTING

PROJECT NO. 1163

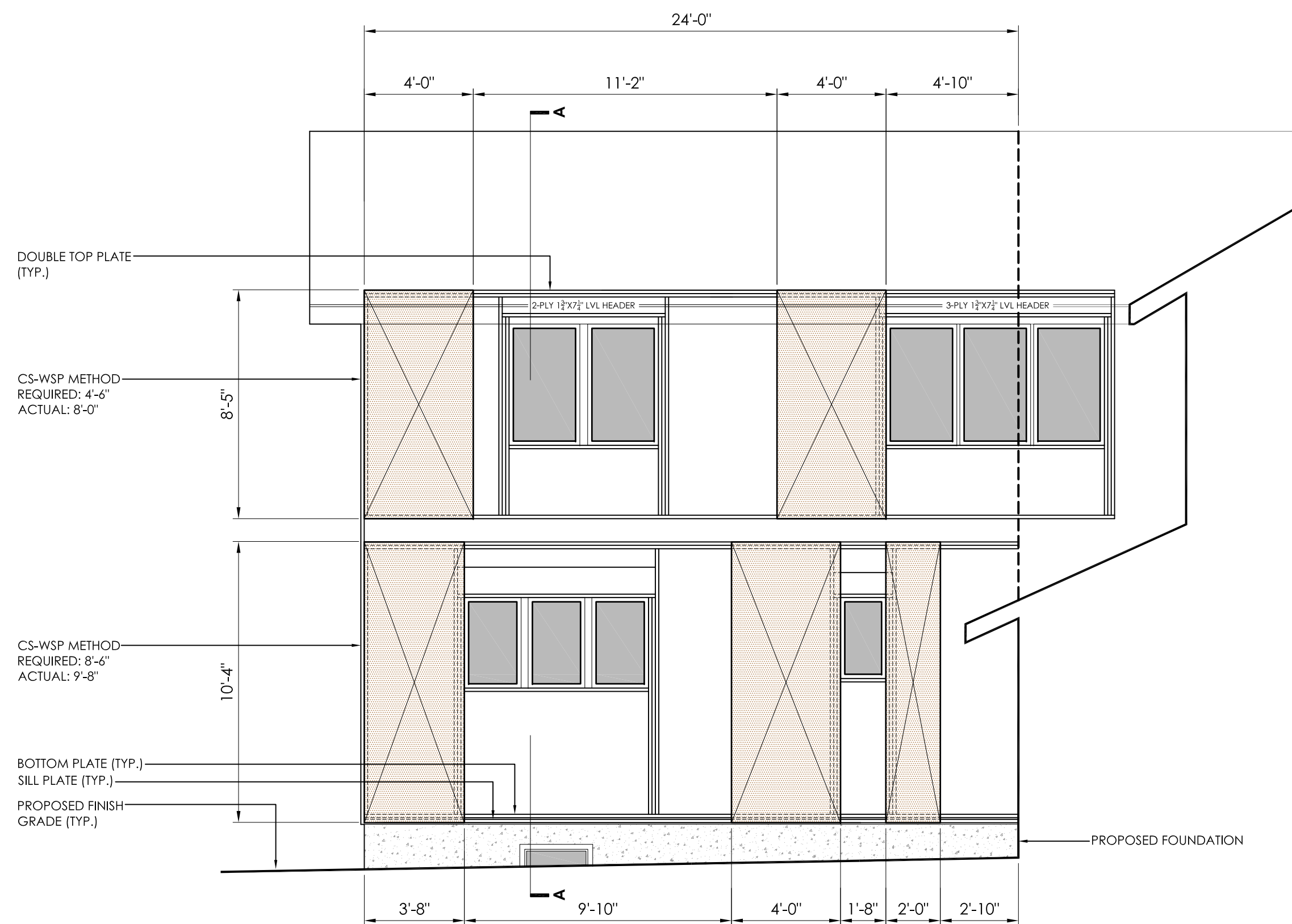
DRAWING NO. S-5



1 PROPOSED BRACING PLAN (SOUTH ELEVATION)
S-6 SCALE: 1/4"=1'-0"



3 PROPOSED BRACING PLAN (WEST ELEVATION)
S-6 SCALE: 1/4"=1'-0"



2 PROPOSED BRACING PLAN (EAST ELEVATION)
S-6 SCALE: 1/4"=1'-0"

GENERAL BRACING NOTES

1. EXTERIOR WALLS TO BE BRACED USING CONTINUOUS SHEATHING- WOOD STRUCTURAL PANEL METHOD (CS-WSP) UNLESS OTHERWISE NOTED. INTERIOR WALLS TO BE FULLY BRACED WITH 1/2" GYPSUM BOARD (MIN.).
2. WSP BOARDS TO BE LOCATED AND ORIENTED AT EXTERIOR WALLS AS SHOWN.
3. ALL PANELS SHOWN TO BE WSP UNLESS OTHERWISE NOTED.
4. WSP TO BE FASTENED TO EXTERIOR FRAMING USING 6D NAILS @ 3" O.C. PANEL EDGES AND @ 6" O.C. ON EACH STUD UNLESS OTHERWISE NOTED.
5. WSP SPANS TO BE CONSTRUCTED AS SHOWN BUT NOT SPANNING LESS THAN 3 STUDS.
6. PANELS IN ALL CASES ARE TO RUN FULL HEIGHT OF WALL (TOP PLATE TO SILL/BASE PLATE) UNLESS OTHERWISE NOTED.
7. MINIMUM REQUIRED/ACTUAL BRACING WIDTHS AS NOTED PER WALL CONDITION.
8. PANELS MUST NOT EXCEED CLEAR WIDTH OF 20' BETWEEN PANELS FOR ANY GIVEN BRACED WALL.
9. PANELS MUST NOT EXCEED CLEAR WIDTH OF 10' FROM THE CORNER OF ANY GIVEN BRACED WALL TO THE FIRST WSP.
10. PROVIDE CONTINUOUS BLOCKING AT EDGES OF ALL WSP PANELS AND INTERIOR GYPSUM BOARD.

REVISION NUMBER - DESCRIPTION - DATE - INITIAL

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BRONER RESIDENCE (MAIN HOUSE)
PROPOSED WALL BRACING PLAN
PREPARED FOR:
JAMES & MIRIAM BRONER
117 INTERLAKEN ROAD
LAKEVILLE, CT

SCALE: 3/8"=1'-0"
FILE NAME: 1163-STRUCTURAL 1
DATE: 3/13/2026
ISSUED FOR: PERMITTING

PROJECT NO. 1163

DRAWING NO. S-6