

27 Main Street
P.O. Box 0548
Salisbury, CT 06068

(860) 435-5190
FAX: (860) 435-5172



TOWN OF SALISBURY
PLANNING AND ZONING COMMISSION

Number 2026-0328

APPLICATION FOR SPECIAL PERMIT

Owner of Record: Delbert Auray
Address of Owner: P.O. Box 892 Southport CT 06890
Property Location: Tax Map # 4 Lot# 31-1 Land Records: Vol. 275 Page 53
Property Address: 11 Route 7
Acreage: 9 Zone: RR3
Bounded generally on the North by: David Shillingford
(Full name of owner of record. East by: Housatonic River
Attach additional pages if needed) South by: Sharon Town Line
West by: Across Route 7 Salisbury Association
Special Permit Use Requested: Improvements associated with the construction of a Barn with one bdrm Apt.
Section 402.2 Housatonic River Overlay of the Salisbury Zoning Regulations.
Written statement of Proposed Use (4 copies): attached
Site Plan - 4 copies (See attached sheet)
Soil Erosion and Sediment Control Plan: See Engineer's Site Plan
Approval from TAHD, WPCA, or BHC regarding sewer and water: attached
Historic District Commission, if applicable: NA
Conservation District Commission, if applicable: NA
Preliminary Architectural Plans for Proposed structures & signs (2 copies) attached
Estimated Site Improvement Costs (other than buildings): \$75,000
Written Assurance of Bond or Letter of Credit: _____
Additional Remarks: _____

Owner's Signature: see below Date: _____
Applicant's Signature and Title: Patrick Mulberry Architect
Applicant's Address and phone number: 79 Whitcomb Hill Road Cornwall Bridge CT 860 672-0392

Filed at the Planning and Zoning Commission Office this 30th day of July, 2026

Fee Paid: \$360
Received By: Miles Todaro
Title: Land Use Technical Specialist

NOTE: One copy of the written statement of proposed use SHALL be sent to all abutting landowners by certified mail. This is the responsibility of the owner/applicant. The signed return receipts shall be submitted with this application.

Delbert L. Auray Jr. Trustee

July 29, 2026

Date

SITE PLAN - GENERAL REQUIREMENTS

The site plan shall be accurately drawn to a scale not to exceed 1" = 100' on sheets not to exceed 24" X 36" .

Site plans shall be certified correct to A-2 Survey Standards by a Connecticut Registered Land Surveyor (R.L.S.) Where it determines that A-2 level of accuracy is not necessary to determine compliance with these regulations the Commission may upon request of the applicant allow a less degree of accuracy for the location of certain improvements or certain property lines.

The design, layout and computations relating to the construction of facilities for storm drainage or improvements such as a new accessway, parking areas, etc. shall be prepared by a Connecticut registered engineer or where qualified to do so by a Connecticut registered landscape architect. where the regulations require a landscape buffer or such is required as a condition of approval of a Special Permit the landscape plan shall be prepared by a professional landscape architect or landscape designer.

A site plan shall contain the following information as applicable, as determined by the Commission or its authorized agent:

- a. Name of applicant and owner of property.
- b. Scale and North arrow.
- c. Property boundary, dimensions, angles, area, zoning classification, and zoning setback lines.
- d. Names of record owners of abutting properties.
- e. Locations and dimensions of all existing and proposed buildings, driveways, parking and loading areas, storage areas, drainage features. Location of fences and walls, natural and artificial water features, wetlands and exposed ledge rock. All statistical data to show that the requirements of the regulations have been met; adjacent properties, and how they relate to the proposed development and the neighborhood and, to the street pattern within 500 feet.
- f. Proposed signs showing locations, dimensions, and means of illumination and all other exterior listing fixtures.
- g. Locations and methods of water supply and sewage disposal facilities.
- h. Illustrations, elevations, and renderings of the proposed buildings and project area sufficient to show clearly what is proposed, as required by the Commission. A landscaping plan shall be submitted which shows existing and proposed landscaping, buffering and plantings including a table of sizes, types, and amounts of proposed materials.
- i. Certification, on the plan or separately, by the Health Officer concerning satisfactory conditions for sewage disposal, consistent with the State Health Code.
- j. Where grading is required, existing and proposed contours at two-foot intervals, based upon field survey.
- k. Existing and post construction surface drainage patterns. The Planning and Zoning Commission may modify the submission requirements of any site plan, if in the opinion of the Commission, the scope and circumstances of such a proposed development are such that certain information is not necessary to complete a review of the proposed project.

PATRICK SCOTT MULBERRY
ARCHITECT

July 29, 2026

Proposed Barn with One Bedroom Apartment
11 Route 7
Salisbury CT

Project Description:

Del Auray, owner of the lot at 11 Route 7, proposes to construct a new one-story barn style garage and work shop with a one-bedroom accessory apartment. The structure will be accessed with a new served with a new driveway. The new structure will occupy a 4440 SF footprint.

A portion of the driveway serving the new structure is located in the Housatonic River flood zone.



Proposed new Barn with One Bedroom Apartment

Torrington Area Health District
350 Main St. - Suite A; Torrington, Ct 06790

Permit #

18340

T A H D Is A Equal Opportunity Provider
Design Review For
Subsurface Sewage Disposal System

11	Route 7	Salisbury	
Lot #	Street #	Street Name	Town
Delbert Auray	1245	Old Academy Rd	Fairfield
Owner		Owner Address	Town
			State
			Zip

Owner Telephone	Agent's Name
Keith Bodwell	
Engineer	Engineer Address
	Town
	State
	Zip

This Approval Indicates That The Proposal Has Been Reviewed By The Health District And Is In Compliance With Applicable Regulations As Contained In The Public Health Code For This Project.

Plan Date: January 7, 2026

Plan prepared by Keith Bodwell

Plan Approval Date: January 7, 2026

Of Bedrooms: 1

48" High Galleries

Septic System Type

1000

Tank Size

392

Field Sq Ft.

40

Length Of Septic System

☒ Approved

☐ Plan Revision Required

☐ Required ☒ Not Required

(2) Perk Tests In Fill By Engineer

This Is Not A Permit To Construct A Subsurface Sewage Disposal System. The Permit To Construct Will Be Issued To The Licensed Septic System Installer Prior To Actual Construction. This Plan Approval Is Subject To Specific And General Conditions As Shown On This Form And/or The Approved Plan. **Please Read Them Carefully.**

- | | | |
|--|---|---|
| ☒ Engineer Design | ☐ Select Fill Required | ☐ As Below |
| ☐ Percolation Test In Fill | ☐ Curtain Drain | ☐ In Place Sieve Test Required |
| ☒ Engineer As Built Required | ☐ Engineer Supervision | ☐ Low Flow Water Treatment |
| ☒ Field Staking By Engineer | ☐ As-built Installer | |

A licensed installer needs to take out a permit to construct with our office.

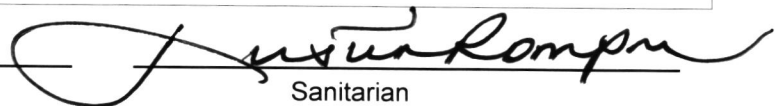
A sanitarian from our office needs to do a final inspection of the system installation. we need at least a 24 hour notice to schedule appointments.

Asbuilt to be submitted by design engineer prior to issuance of a permit to discharge.

Approved By:

Director Of Health

Sanitarian



PATRICK SCOTT MULBERRY
ARCHITECT

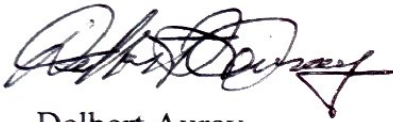
January 21, 2026

Abby Conroy, Director of Land Use
Town of Salisbury
Land Use Department
27 Main Street
Salisbury CT 06068

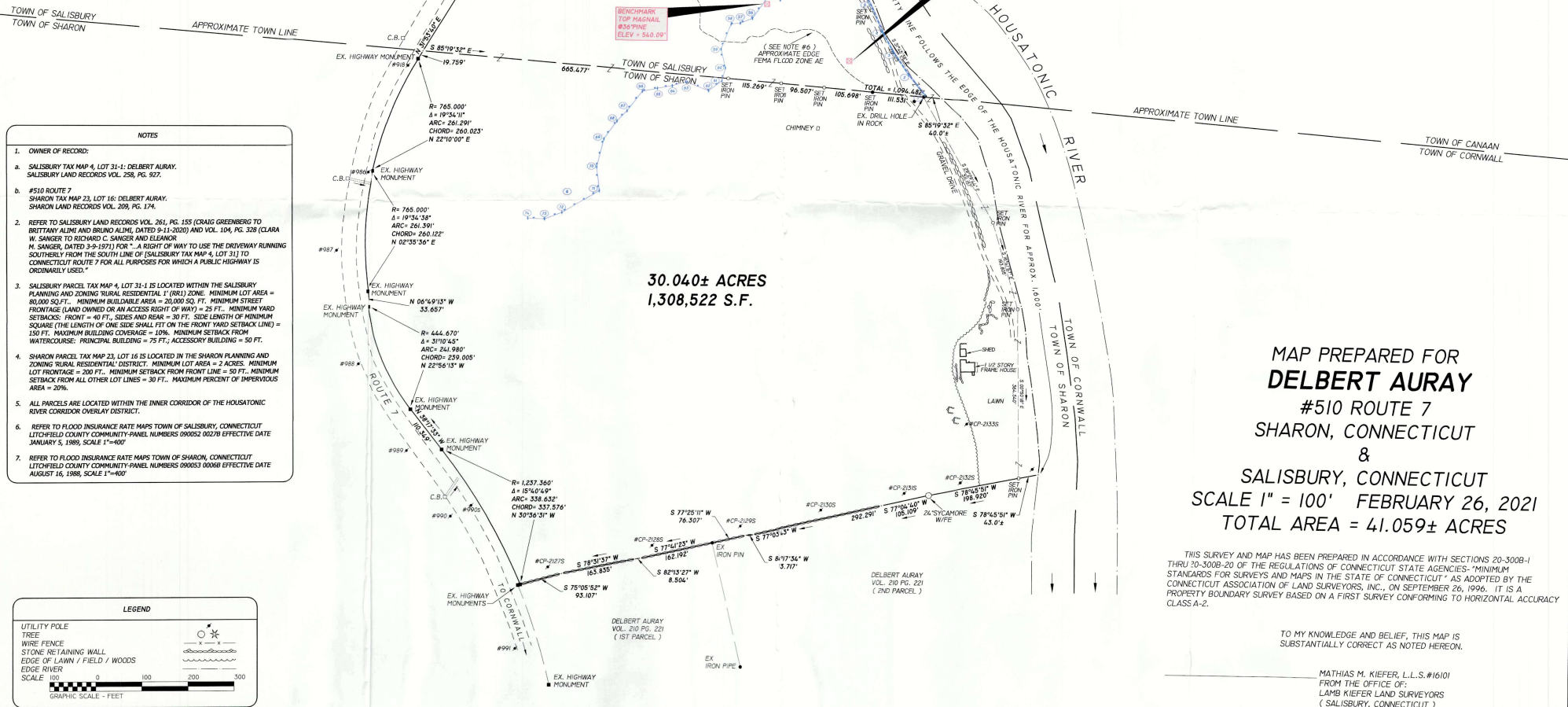
Dear Ms. Conroy,

As the owner of a parcel of land at 11 Route 7 (parcel ID authorize Patrick Mulberry Architect to act on our behalf and represent our interests in the effort to obtain the zoning approval for the proposed construction of a new garage and workshop with living quarters.

Regards,

A handwritten signature in black ink, appearing to read "Delbert Auray", with a stylized flourish at the end.

Delbert Auray
P.O. Box 892
Southport CT 06890



30.040± ACRES / 1,308,522 S.F. (TOWN OF SHARON)
+ 11.019± ACRES / 480,011 S.F. (TOWN OF SALISBURY)
41.059± ACRES / 1,788,533 S.F. (TOTAL AREA)

30.040± ACRES
1,308,522 S.F.

MAP PREPARED FOR
DELBERT AURAY
#510 ROUTE 7
SHARON, CONNECTICUT
&
SALISBURY, CONNECTICUT
SCALE 1" = 100' FEBRUARY 26, 2021
TOTAL AREA = 41.059± ACRES

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THRU 10-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., ON SEPTEMBER 26, 1996. IT IS A PROPERTY BOUNDARY SURVEY BASED ON A FIRST SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS
SUBSTANTIALLY CORRECT AS NOTED HEREON.

MATHIAS M. KIEFER, L.L.S.#16101
FROM THE OFFICE OF:
LAMB KIEFER LAND SURVEYORS
(SALISBURY, CONNECTICUT)
MAP NOT VALID WITHOUT A LIVE SIGNATURE
AND EMBOSSED SEAL

DTP-1	
0-8"	TOPSOIL
8-18"	ORANGE BROWN FINE SANDY LOAM
18-72"	YELLOW BROWN VERY FINE SAND
72-90"	OLIVE VERY FINE SAND WITH SILT
90-115"	COURSE SAND AND GRAVEL
ROOTS @60"	NO LEDGE
NO WATER	NO MOTTLES
DTP-2	
0-8"	TOPSOIL
8-14"	ORANGE BROWN FINE SANDY LOAM
14-50"	YELLOW BROWN VERY FINE SAND
50-76"	OLIVE VERY FINE SAND WITH SILT
76-96"	COURSE SAND SOME GRAVEL
ROOTS @40"	NO LEDGE
NO WATER	NO MOTTLES
DTP-3	
0-8"	TOPSOIL
8-42"	ORANGE BROWN MED COURSE SAND AND GRAVEL
42-140"	YELLOW BROWN VERY FINE SAND
ROOTS @120"	NO LEDGE
NO WATER	NO MOTTLES
DTP4	
0-8"	TOPSOIL
8-18"	ORANGE BROWN FINE SANDY LOAM
18-24"	COURSE SAND AND GRAVEL
24-40"	YELLOW BROWN VERY FINE SAND
40-52"	OLIVE VERY FINE SAND
52-68"	COURSE SAND AND GRAVEL
68-110"	WHITE VERY FINE SAND
ROOTS @72"	NO LEDGE
NO WATER	NO MOTTLES

PERC #1	
24" DEEP	
PRESOAK 10:30	
RUN 11:31	
TIME	DEPTH
0	0"
5	8"
6	9"
7	9-3/4"
8	11-1/2"
9	12-3/8"
10	13"
11	13-5/8"
12	14-3/8"
13	14-7/8"
14	15-1/4"
15	16-1/8"
16	16-5/8"
17	17-1/8"
18	17-3/4"
19	18-1/8"
20	18-5/8"
21	19"
22	19-1/2"
23	DRY
24	PERC RATE
2.67 MIN/INCH	

GENERAL NOTES:

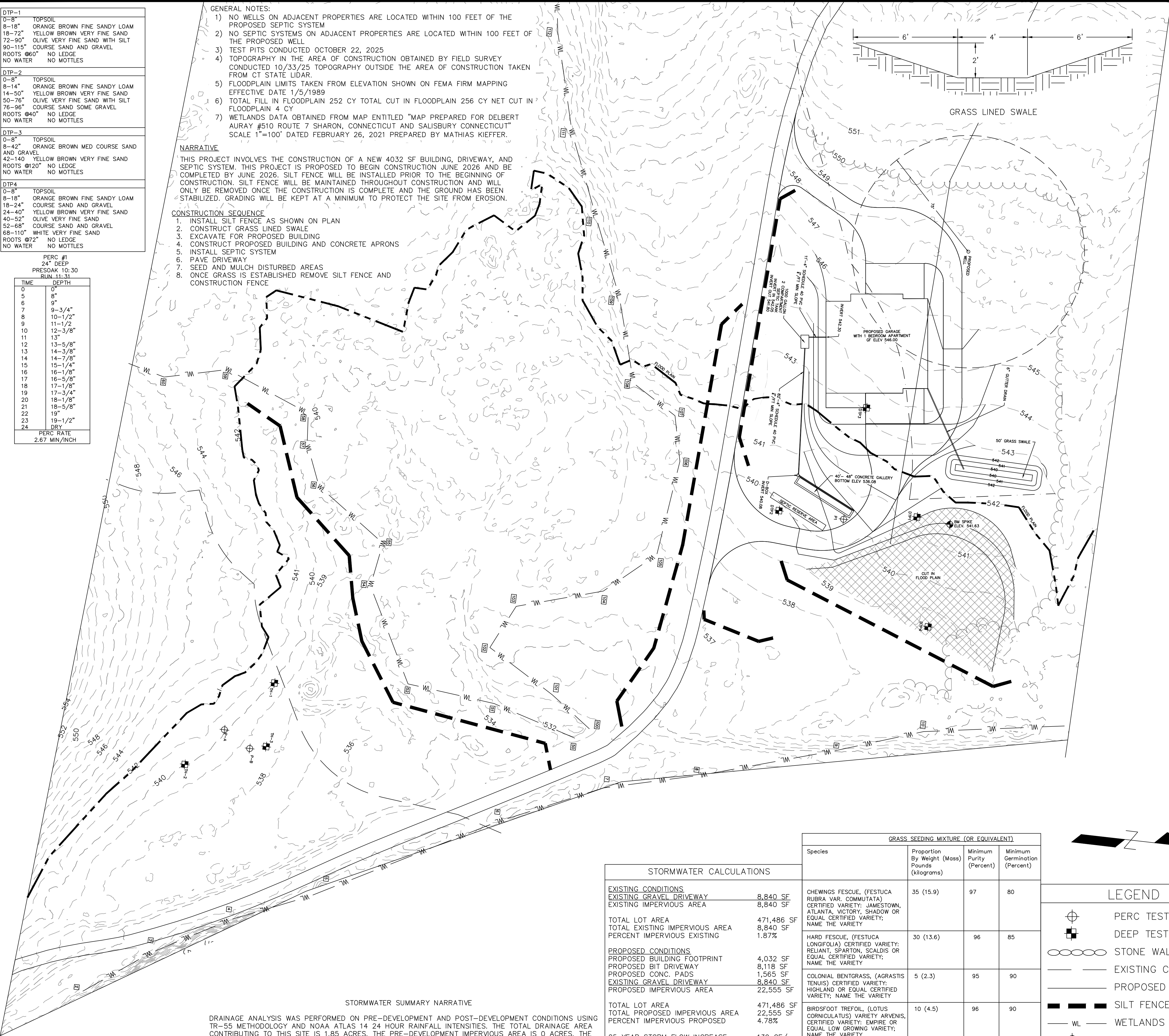
- 1) NO WELLS ON ADJACENT PROPERTIES ARE LOCATED WITHIN 100 FEET OF THE PROPOSED SEPTIC SYSTEM
- 2) NO SEPTIC SYSTEMS ON ADJACENT PROPERTIES ARE LOCATED WITHIN 100 FEET OF THE PROPOSED WELL
- 3) TEST PITS CONDUCTED OCTOBER 22, 2025
- 4) TOPOGRAPHY IN THE AREA OF CONSTRUCTION OBTAINED BY FIELD SURVEY CONDUCTED 10/33/25 TOPOGRAPHY OUTSIDE THE AREA OF CONSTRUCTION TAKEN FROM CT STATE LIDAR.
- 5) FLOODPLAIN LIMITS TAKEN FROM ELEVATION SHOWN ON FEMA FIRM MAPPING EFFECTIVE DATE 1/5/1989
- 6) TOTAL FILL IN FLOODPLAIN 252 CY TOTAL CUT IN FLOODPLAIN 256 CY NET CUT IN FLOODPLAIN 4 CY
- 7) WETLANDS DATA OBTAINED FROM MAP ENTITLED "MAP PREPARED FOR DELBERT AURAY #510 ROUTE 7 SHARON, CONNECTICUT AND SALISBURY CONNECTICUT" SCALE 1"=100' DATED FEBRUARY 26, 2021 PREPARED BY MATHIAS KIEFFER

NARRATIVE

THIS PROJECT INVOLVES THE CONSTRUCTION OF A NEW 4032 SF BUILDING, DRIVEWAY, AND SEPTIC SYSTEM. THIS PROJECT IS PROPOSED TO BEGIN CONSTRUCTION JUNE 2026 AND BE COMPLETED BY JUNE 2026. SILT FENCE WILL BE INSTALLED PRIOR TO THE BEGINNING OF CONSTRUCTION. SILT FENCE WILL BE MAINTAINED THROUGHOUT CONSTRUCTION AND WILL ONLY BE REMOVED ONCE THE CONSTRUCTION IS COMPLETE AND THE GROUND HAS BEEN STABILIZED. GRADING WILL BE KEPT AT A MINIMUM TO PROTECT THE SITE FROM EROSION.

CONSTRUCTION SEQUENCE

1. INSTALL SILT FENCE AS SHOWN ON PLAN
2. CONSTRUCT GRASS LINED SWALE
3. EXCAVATE FOR PROPOSED BUILDING
4. CONSTRUCT PROPOSED BUILDING AND CONCRETE APRONS
5. INSTALL SEPTIC SYSTEM
6. PAVE DRIVEWAY
7. SEED AND MULCH DISTURBED AREAS
8. ONCE GRASS IS ESTABLISHED REMOVE SILT FENCE AND CONSTRUCTION FENCE

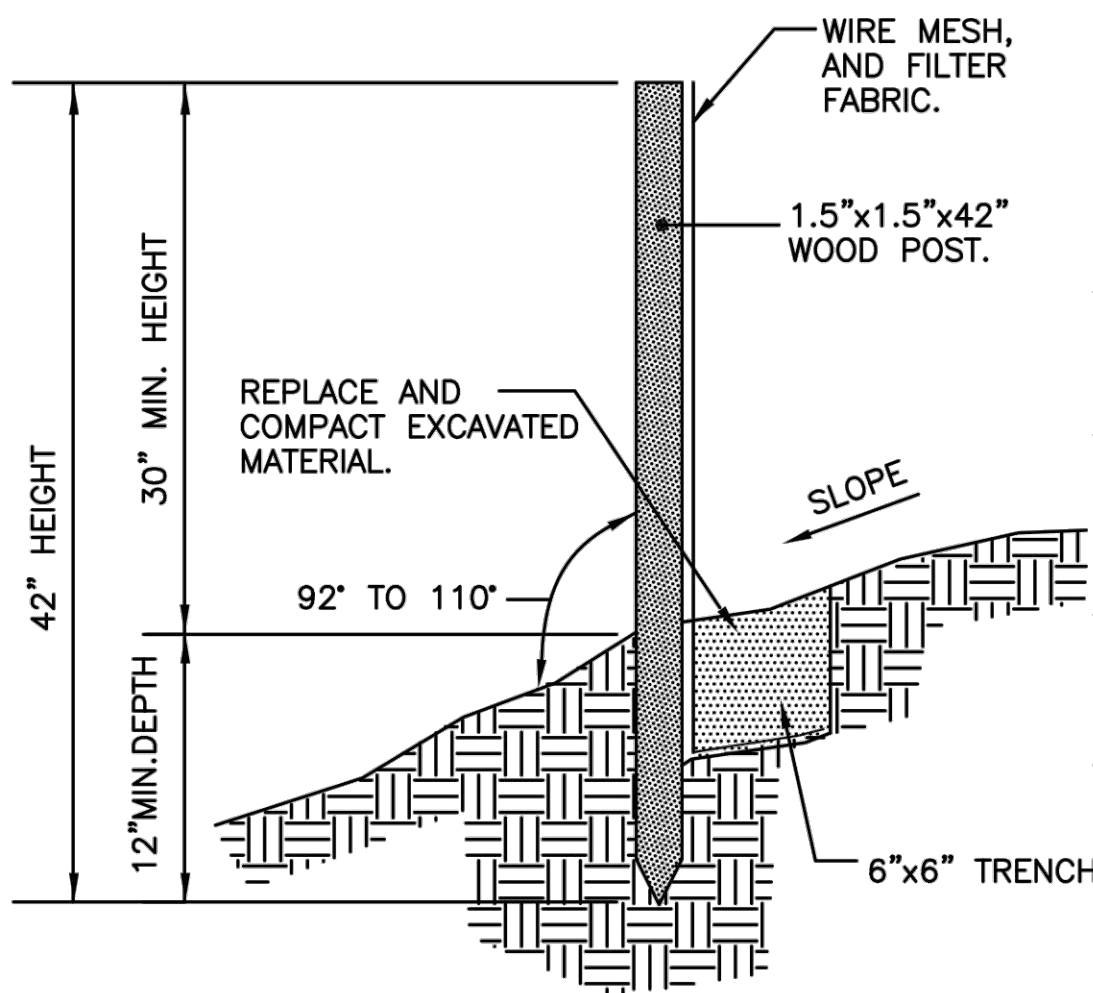


EROSION AND SEDIMENTATION CONTROL NOTES:

1. ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE CONSTRUCTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL AND CITY OF TORRINGTON REGULATIONS.
2. ALL CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS.
3. ALL CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE TOWN PRIOR TO COMMENCEMENT OF ANY WORK, INCLUDING PRE-CONSTRUCTION CLEARING AND GRUBBING.
4. ALL CONTROL MEASURES SHALL BE MAINTAINED AND UPGRADED AS REQUIRED TO ACHIEVE PROPER SEDIMENT CONTROL THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS HAVE BEEN THOROUGHLY STABILIZED.
5. NO CONTROL MEASURES SHALL BE REMOVED WITHOUT APPROVAL FROM THE TOWN.
6. ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF DEEMED NECESSARY BY THE TOWN OR ITS AUTHORIZED AGENT.
7. THE LIMITS OF CLEARING, GRADING, AND DISTURBANCE, AS SHOWN ON THE PLANS, SHALL BE KEPT TO A MINIMUM WITHIN THE APPROVED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE THE LIMITS OF CLEARING SHALL REMAIN TOTALLY UNDISTURBED.
8. ANY CONTROL MEASURES RETAINING SEDIMENT OVER 3' THEIR HEIGHT SHALL HAVE THE SEDIMENT IMMEDIATELY REMOVED, AND ALL DAMAGED CONTROL MEASURES SHALL BE REMOVED AND REPLACED.
9. ALL CATCH BASINS LOCATED DOWN-GRADE OF THE SITE SHALL BE PROTECTED BY PLACING FILTER FABRIC BENEATH THE GRATE UNTIL ALL DISTURBED AREAS HAVE BEEN THOROUGHLY STABILIZED.
10. ALL NEW AND EXISTING CATCH BASINS LOCATED ON THE SITE SHALL BE PROTECTED BY STAKED HAY BALES AND BY PLACING FILTER FABRIC BENEATH THE GRATE UNTIL ALL DISTURBED AREAS HAVE BEEN THOROUGHLY STABILIZED.
11. ALL SEDIMENT SHALL BE IMMEDIATELY REMOVED FROM NEW AND EXISTING DRAINAGE STRUCTURES AND PIPING IMPACTED BY THE PROPOSED CONSTRUCTION.
12. SEDIMENT REMOVED FROM CONTROL MEASURES AND DRAINAGE FACILITIES SHALL BE DISPOSED OF IN A MANNER THAT IS CONSISTENT WITH STATE AND LOCAL REGULATIONS.
13. THE PLANTING SEASONS FOR THE SPECIFIED SEED MIXTURE SHALL BE AS DEFINED IN THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, UNLESS DIRECTED OTHERWISE BY THE TOWN. OUTSIDE OF THESE SPECIFIED DATES, AREAS WILL BE STABILIZED WITH HAY BALE CHECK DAMS, FILTER FABRIC, OR WOOD CHIP MULCH AS REQUIRED TO CONTROL EROSION.
14. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO ENSURE THAT NO DRAINAGE FROM TOWN ROADS ENTERS THE SITE DURING OR AFTER CONSTRUCTION.
15. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE LIFE OF THE CONTRACT. THE CONTRACTOR SHALL CONTROL DUST TO PREVENT A HAZARD TO TRAFFIC ON ADJACENT ROADWAYS.
16. TEMPORARY STOCKPILING OF CONSTRUCTION MATERIALS SHALL ONLY BE ALLOWED IN THE LOCATIONS SHOWN ON THE PLANS. STOCKPILE AREAS SHALL BE FULLY ENCLOSED BY SILT FENCE.
17. ALL GROUNDWATER EXTRACTED DURING DEWATERING OF EXCAVATIONS SHALL BE DIRECTED TO A TEMPORARY SEDIMENTATION BASIN.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENTATION CONTROL PLAN. THIS INCLUDES THE INSTALLATION AND MAINTENANCE OF ALL CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFYING THE TOWN OF ANY TRANSFER OF RESPONSIBILITY.
19. ALL DEBRIS AND STUMPS SHALL BE REMOVED FROM SITE.

INSTALLATION PROCEDURE:

1. SET 1.5"x1.5"x42" POSTS @ 10'0" O.C. AND EXCAVATE A 6"x6" TRENCH, SET POST DOWNSLOPE. INSTALL ADDITIONAL POSTS AS REQUIRED AT LOW POINTS.
2. SECURE WIRE MESH TO POSTS WITH ADEQUATE STAPLES OR WIRE TIES.
3. ATTACH FILTER FABRIC TO WIRE MESH AND EXTEND DOWN INTO TRENCH AS DETAILED.
4. BACKFILL AND COMPACT TRENCH TO SECURE FILTER FABRIC.
5. IN LIEU OF WIRE MESH AND FILTER FABRIC, CONTRACTOR MAY USE A PREFABRICATED SEDIMENT FENCE EQUAL TO:
A. ENVIROFENCE(MIRAF)
B. PROPLEX SILT STOP(AMOCO)
C. ECONOFENCE(TERRATEX) OR APPROVED EQUALS.



SILT FENCE

N.T.S.

NOTE:

SEDIMENT FENCE IS TO BE CHECKED AFTER EVERY STORM EVENT AND/OR ONCE EVERY TWO WEEKS (MIN.)

STORMWATER CALCULATIONS		GRASS SEEDING MIXTURE (OR EQUIVALENT)			
		Species	Proportion By Weight (Mass) Pounds (kilograms)	Minimum Purity (Percent)	Minimum Germination (Percent)
EXISTING CONDITIONS					
EXISTING GRAVEL DRIVEWAY	8,840 SF				
EXISTING IMPERVIOUS AREA	8,840 SF				
TOTAL LOT AREA	471,486 SF				
TOTAL EXISTING IMPERVIOUS AREA	8,840 SF				
PERCENT IMPERVIOUS EXISTING	1.87%				
PROPOSED CONDITIONS					
PROPOSED BUILDING FOOTPRINT	4,032 SF				
PROPOSED BIT DRIVEWAY	8,118 SF				
PROPOSED CONC. PADS	1,565 SF				
EXISTING GRAVEL DRIVEWAY	8,840 SF				
PROPOSED IMPERVIOUS AREA	22,555 SF				
TOTAL LOT AREA	471,486 SF				
TOTAL PROPOSED IMPERVIOUS AREA	22,555 SF				
PERCENT IMPERVIOUS PROPOSED	4.78%				
25 YEAR STORM FLOW INCREASE	139 CF/1040 GAL				
16' - 4X4 GALLEY STORAGE VOLUME	1400 GAL				
		CHEWINGS FESCUE, (FESTUCA RUBRA VAR. COMMUTATA) CERTIFIED VARIETY: JAMESTOWN, ATLANTA, VICTORY, SHADOW OR EQUAL CERTIFIED VARIETY: NAME THE VARIETY	35 (15.9)	97	80
		HARD FESCUE, (FESTUCA LONGIFOLIA) CERTIFIED VARIETY: RELIANT, SPARTAN, SCALDIS OR EQUAL CERTIFIED VARIETY: NAME THE VARIETY	30 (13.6)	96	85
		COLONIAL BENTGRASS, (AGRASTIS TENUIIS) CERTIFIED VARIETY: HIGHLAND OR EQUAL CERTIFIED VARIETY: NAME THE VARIETY	5 (2.3)	95	90
		BIRDSFOOT TREFOLI, (LOTUS CORNICULATUS) VARIETY ARVENIS, CERTIFIED VARIETY: EMPIRE OR EQUAL LOW GROWING VARIETY: NAME THE VARIETY	10 (4.5)	96	90
		PERENNIAL RYEGRASS, (LOLIUM PERENNE) TRUF TYPE, CERTIFIED VARIETY: NAME THE VARIETY	20 (9.1)	98	90

LEGEND

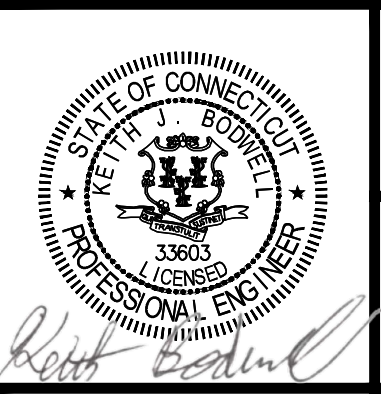
- PERC TEST
- DEEP TEST PIT
- STONE WALL
- EXISTING CONTOURS
- PROPOSED CONTOURS
- SILT FENCE
- WETLANDS LINE
- BENCHMARK

24 HOUR EMERGENCY CONTACT

Bruce Leon
BC West builders
860 940-7038
Email: Bruce@bcwestbuild.com



BODWELL ENGINEERING AND SURVEYING LLC
22 WEST MAIN STREET - SHARON, CT 06069
860-318-5300 - BODWELLENGINEERING.COM



APPROVED:

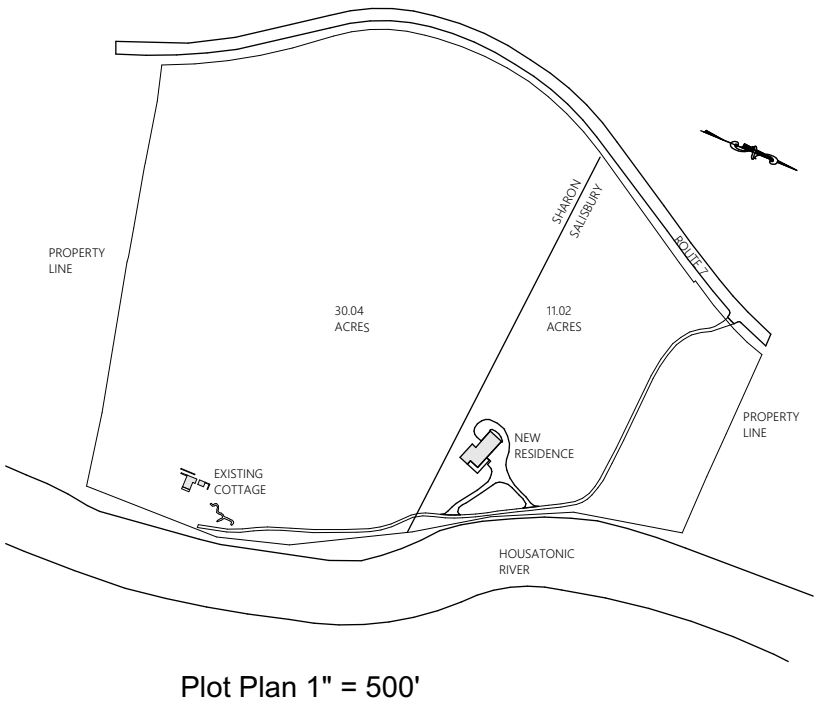
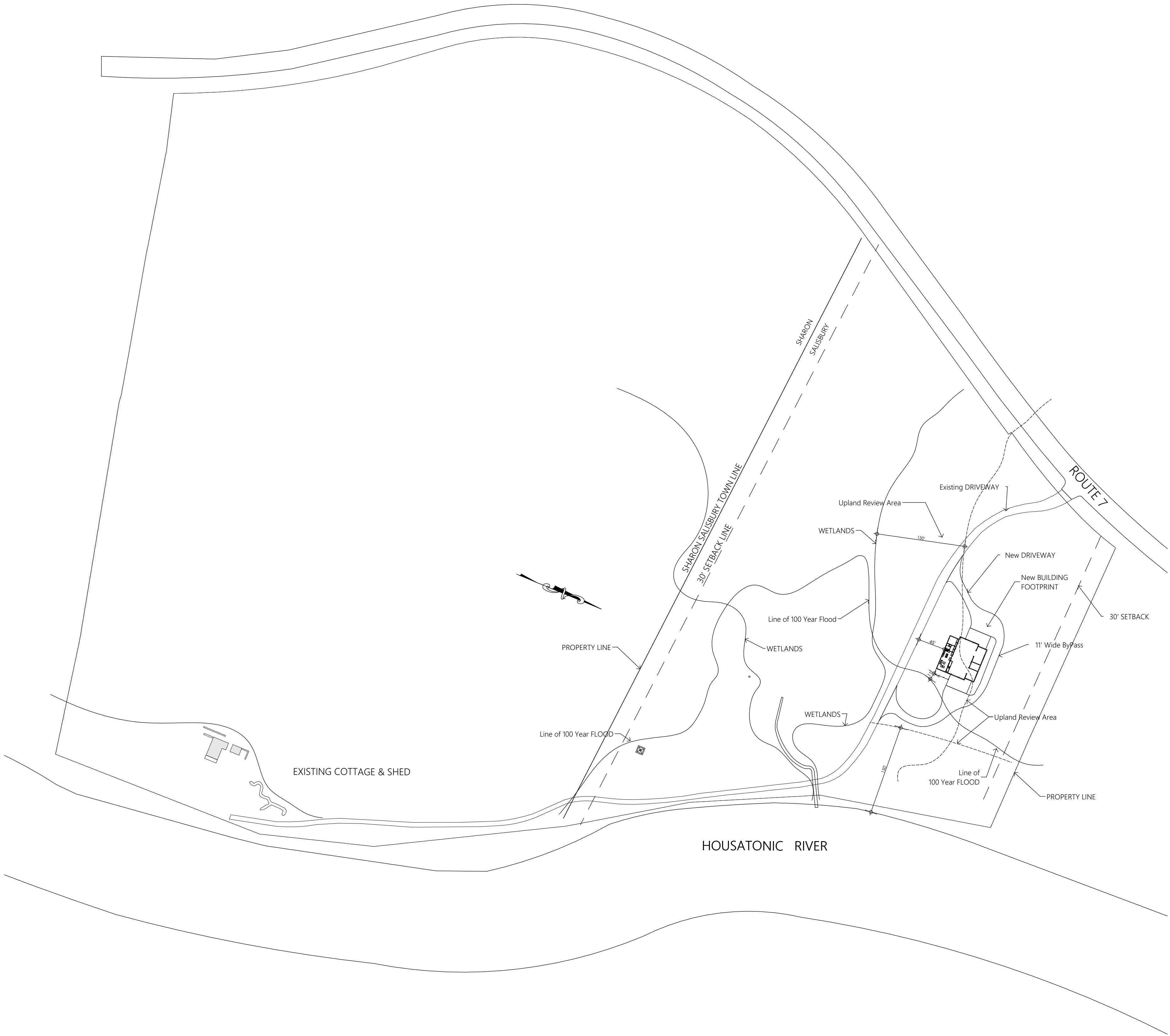
E&S PLAN
11 ROUTE 7 - SALISBURY, CT
Map 4 Lot 31-1

PREPARED FOR: PATRICK MULBERRY
PROPERTY OWNER: DELBERT AURAY
1245 OLD ACADEMY ROAD
FAIRFIELD, CT 06824

SCALE: 1"=20'
DATE: MARCH 2026
REV: JUNE 3, 2026

PROJECT#: 2025-15
SHEET#: 1 OF 1

STORMWATER SUMMARY NARRATIVE
DRAINAGE ANALYSIS WAS PERFORMED ON PRE-DEVELOPMENT AND POST-DEVELOPMENT CONDITIONS USING TR-55 METHODOLOGY AND NOAA ATLAS 14 24 HOUR RAINFALL INTENSITIES. THE TOTAL DRAINAGE AREA CONTRIBUTING TO THIS SITE IS 1.85 ACRES. THE PRE-DEVELOPMENT IMPERVIOUS AREA IS 0 ACRES. THE POST DEVELOPMENT IMPERVIOUS AREA IS 0.315 ACRES. STORMWATER VOLUME AND QUALITY WILL BE HANDLED BY USE OF AN INFILTRATION SWALE WHICH WILL RELIEVE THE RUNOFF FROM THE ROOF LEADERS ON THE PROPOSED BUILDING.



New Vehicle Barn with Living Quarters
11 Route 7 Salisbury CT 06796

Site Plan
1" = 100'-0"

February 6, 2026
PATRICK SCOTT MULBERRY, ARCHITECT
79 Whitcomb Hill Road Cornwall Bridge, CT 06754
(860) 672-0392
patrickmulberry@gmail.com
Copyright 2025-2026

SCHEME 13.0	
LIST OF DRAWINGS:	
1	Title Sheet, Site Plan
2	Ground Floor Plan
3	Upper level Plan
4	Foundation Plan
5	Roof Plan
6	Elevations
7	Building Sections
8	Interior Elevations (Not included)
9	Interior Details (Not Included)
10	Wall Sections 1
11	Wall Sections 2
12	Ground Floor Electrical Layout
13	General Notes (Electrical, Window & Door Schedules)

SEPTIC SYSTEM NOTES TO CONTRACTORS:

- This plan should be checked against the permit plan for any revisions or notes.
- Contractor to verify adequacy of soil depths prior to installation of system.
- Contractor must follow all requirements of the State and Local Health Codes.
- As of January 1, 1990, all septic tanks must contain two compartments.
- The Engineer and the Local Health Department will make a final inspection of the system installation. All leaching areas, piping and structures must be open for the inspection. Give the Engineer and the Local Health Department at least 48 hours notice for the final inspection.
- All construction elevations and grades will be checked by transit. You are expected to install the system essentially as shown, using a contractor's level throughout. No variation from the design dimensions and elevations will be allowed unless written approval is given by the Engineer and the Local Health Department. Variations, unless previously approved by the design engineer, will require correction.
- The septic system is to be staked and a benchmark set by a Licensed Professional Engineer or Land Surveyor prior to work in the septic system area. An as-built plan is to be completed by a Licensed Professional Engineer or Land Surveyor. Copies are to go to the Local Health Department.
- Unsuitable soil and vegetation must be removed from the system area prior to fill placement. Be sure that all of the topsoil has been removed and that the material is exposed everywhere within the work area. Leaching area is to be scarified after stripping. Give the Engineer and the Local Health Department at least 48 hours notice prior to stripping and scarifying.
- The fill is to be top grade tank run gravel, coarse sharp sand or, if allowed by the design engineer, washed sand. The fill should contain no more than 5% fines. Fines are clay and silt sized particles that pass the no. 200 sieve. Before placing the fill, both the design engineer and the Local Health Department must be given sieve analysis of the material to be used, and must approve the fill. After the fill has been approved, this fill must be used unless a new sieve analysis is approved. Dead sand, sandy loam and other such materials are not acceptable as fill. Give the Engineer and the Local Health Department at least 48 hours notice prior to placing of select fill.
- Spread the fill over the proper area in 12 inch lifts, compacting it by machine to a point where it is firm. Fill to be placed in such a manner that it will pass a 90% compaction test.
- A percolation test performed by the Professional Engineer in the select fill will be required by the Local Health Department.
- During the site preparation and filling operations, keep the design engineers and the Local Health Department informed by phone about the progress of the work. The design engineers and the Local Health Department reserve the right to inspect the completed fill area before the work proceeds. Give both about 48 hours notice as to when the filling will be completed.
- All completed piping should be carefully protected during construction and final grading to avoid crushing or displacing the PVC. Any pipe which is disturbed should be replaced.
- All distribution boxes to be placed on concrete pads or compacted gravel.
- Loom (6" min.), seed and hay all disturbed areas as soon as practical. Finish grade over septic system to shed water.

STANDARD MLSS

HYDRAULIC GRADIENT 2.1-3.0%
RECEIVING SOIL DEPTH >60"
MLSS NEED NOT BE CONSIDERED.

FLOW FACTOR
2 BEDROOM DESIGN FLOW
300 GAL/DAY
FT = 1.5

PERCOLATION FACTOR
PERCOLATION RATE
UP TO 10.0 MIN/INCH
PF = 1.0

MLSS NEED NOT BE CONSIDERED.

GENERAL NOTES:

- NO WELLS ON ADJACENT PROPERTIES ARE LOCATED WITHIN 100 FEET OF THE PROPOSED SEPTIC SYSTEM
- NO SEPTIC SYSTEMS ON ADJACENT PROPERTIES ARE LOCATED WITHIN 100 FEET OF THE PROPOSED WELL
- TEST PITS CONDUCTED OCTOBER 22, 2025

ELA

PERCOLATION RATE
LESS THAN 10.1 MIN/INCH
2 BEDROOM
ELA FROM TABLE 6 = 375 SF
PROVIDE 40' OF
48" CONCRETE GALLERIES
40'X(9.2+0.6)= 392 SF PROVIDED

DTP-1	
0-8"	TOPSOIL
8-18"	ORANGE BROWN FINE SANDY LOAM
18-72"	YELLOW BROWN VERY FINE SAND
72-90"	OLIVE VERY FINE SAND WITH SILT
90-115"	COURSE SAND AND GRAVEL
ROOTS Ø60"	NO LEDGE
NO WATER	NO MOTTLES
DTP-2	
0-8"	TOPSOIL
8-14"	ORANGE BROWN FINE SANDY LOAM
14-50"	YELLOW BROWN VERY FINE SAND
50-76"	OLIVE VERY FINE SAND WITH SILT
76-96"	COURSE SAND SOME GRAVEL
ROOTS Ø40"	NO LEDGE
NO WATER	NO MOTTLES
DTP-3	
0-8"	TOPSOIL
8-42"	ORANGE BROWN MED COURSE SAND AND GRAVEL
42-140"	YELLOW BROWN VERY FINE SAND
ROOTS Ø20"	NO LEDGE
NO WATER	NO MOTTLES
DTP-4	
0-8"	TOPSOIL
8-18"	ORANGE BROWN FINE SANDY LOAM
18-24"	COURSE SAND AND GRAVEL
24-40"	YELLOW BROWN VERY FINE SAND
40-52"	OLIVE VERY FINE SAND
52-68"	COURSE SAND AND GRAVEL
68-110"	WHITE VERY FINE SAND
ROOTS Ø72"	NO LEDGE
NO WATER	NO MOTTLES

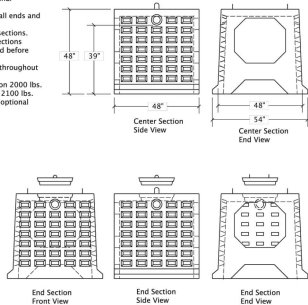
PERC #1 24" DEEP	
TIME	DEPTH
0	0"
5	8"
6	9"
7	9-3/4"
8	10-1/2"
9	11-1/2"
10	12-3/8"
11	13"
12	13-5/8"
13	14-3/8"
14	14-7/8"
15	15-1/4"
16	16-1/8"
17	16-5/8"
18	17-1/8"
19	17-3/4"
20	18-1/8"
21	18-5/8"
22	19"
23	19-1/2"
24	DRY
PERC RATE 2.67 MIN/INCH	

C-33 SAND SHALL MEET THE BELOW SPECIFICATIONS	
SEIVE SIZE	PERCENT PASSING
#4	95-100
#8	80 - 100
#16	50 - 85
#30	25 - 60
#50	5-30
#100	0-10
#200	0 - 5

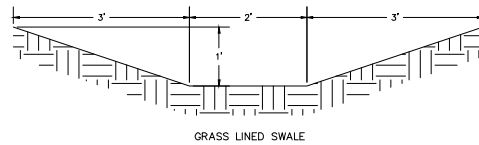
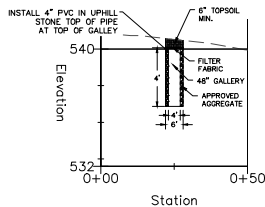
4x4x4 Leaching Galleries

NOTES:

- * Walls: 3" thick nominal
- * Top: 4"
- * Pipe knockouts on all ends and sides
- * 18" covers on end sections. Optional on center sections
- * Weep holes punched before shipping
- * Fiber reinforcement throughout
- * 5000psi concrete
- * Weight center section 2000 lbs.
- * Weight end section 2100 lbs.
- * H-20 reinforcement optional



PROPOSED BARN SEPTIC X-SECTION PROFILE



LEGEND

- PERC TEST
- DEEP TEST PIT
- STONE WALL
- EXISTING CONTOURS
- PROPOSED CONTOURS
- SILT FENCE
- WETLANDS LINE
- BENCHMARK

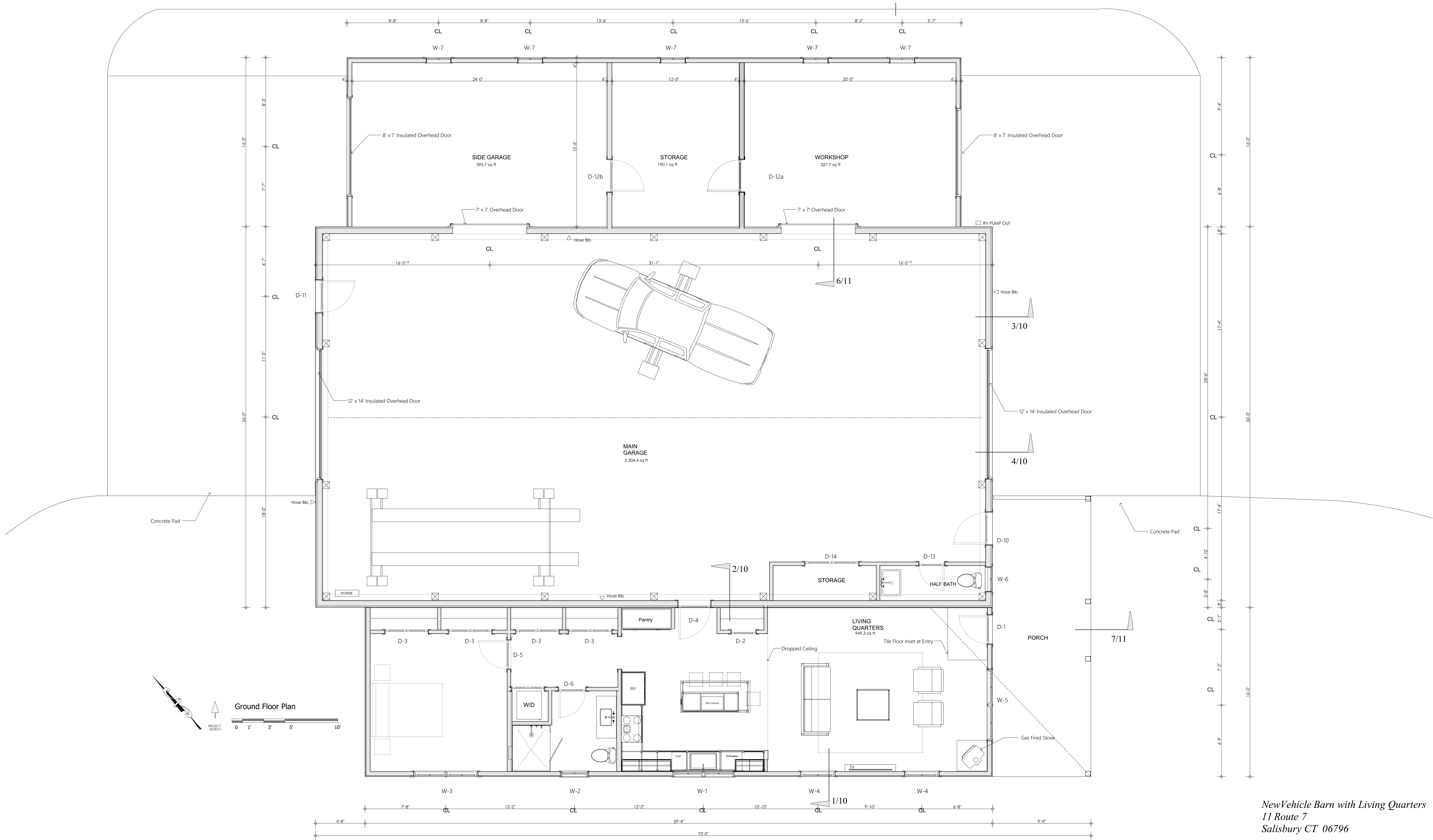


BODWELL ENGINEERING AND SURVEYING LLC
22 WEST MAIN STREET - SHARON, CT 06069
860-318-5300 - BODWELLENENGINEERING.COM



SITE PLAN
11 ROUTE 7 - SALISBURY, CT
Map 4 Lot 31-1
PREPARED FOR: PATRICK MULBERRY
PROPERTY OWNER: DELBERT AURAY
1245 OLD ACADEMY ROAD
FAIRFIELD, CT 06824

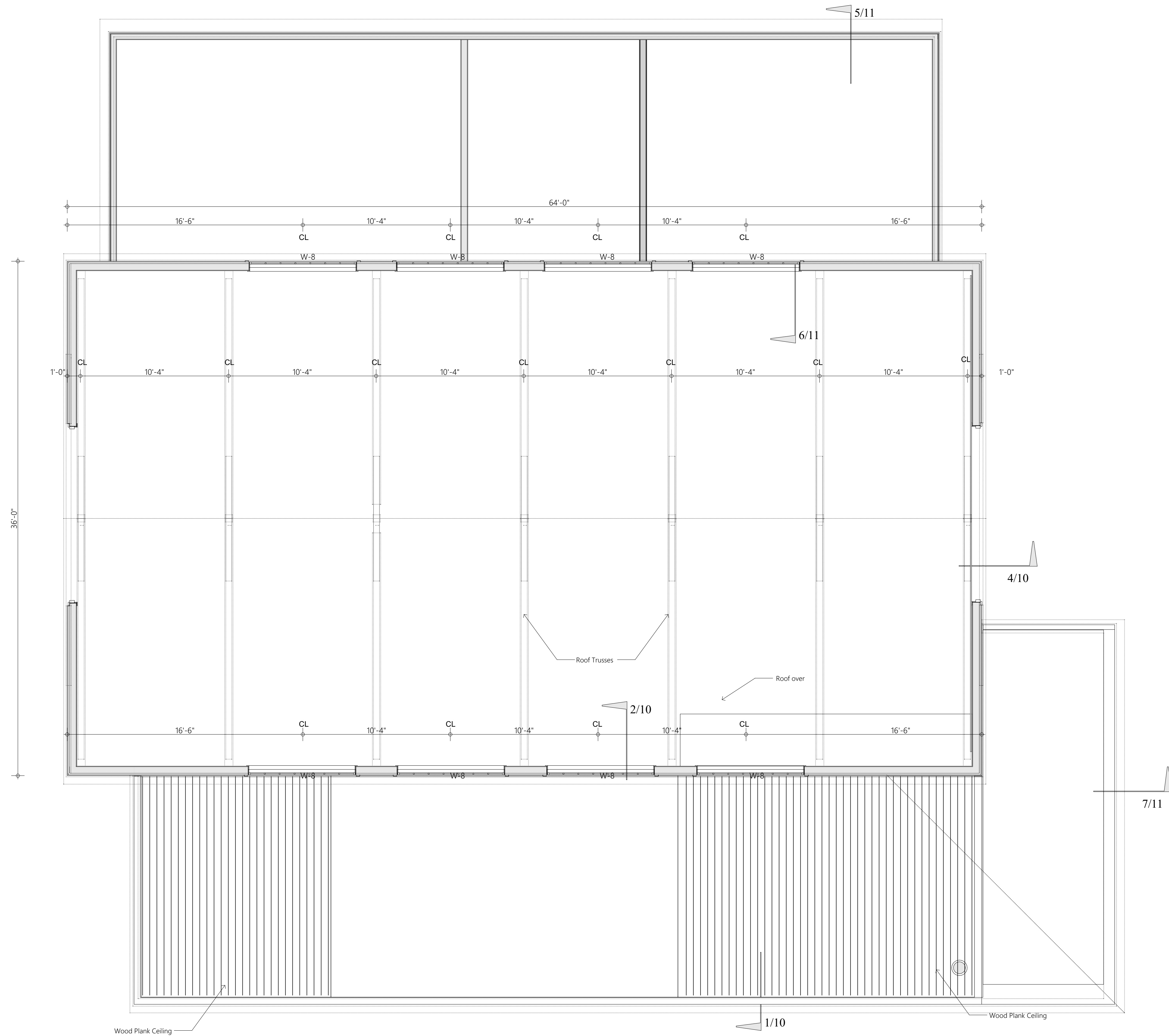
SCALE: 1"=20'
DATE: NOVEMBER 2025
REV: 1/7/26, 2/5/26
PROJECT#: 2025-15
SHEET#: 1 OF 1

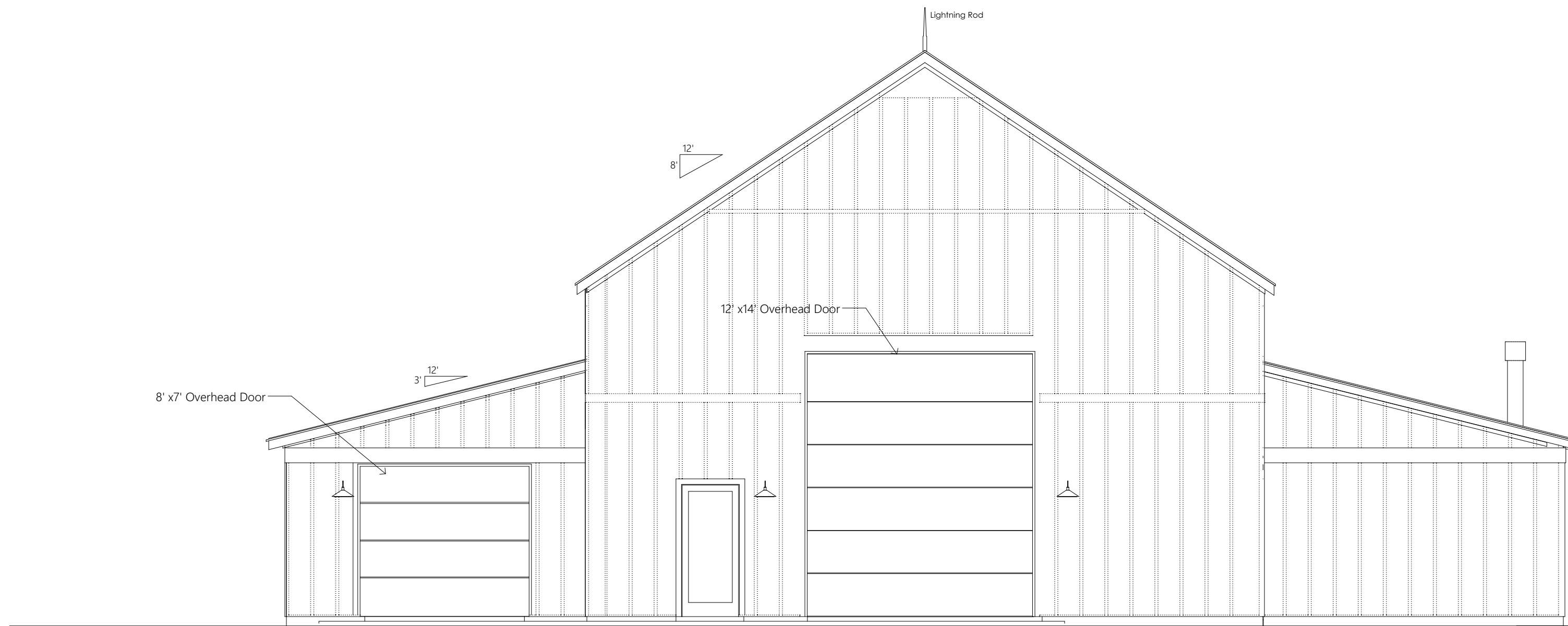


NewVehicle Barn with Living Quarters
11 Route 7
Salisbury CT 06796

2
Scheme 13.0
Ground Floor Plan 1/4" = 1'-0"
January 19, 2026

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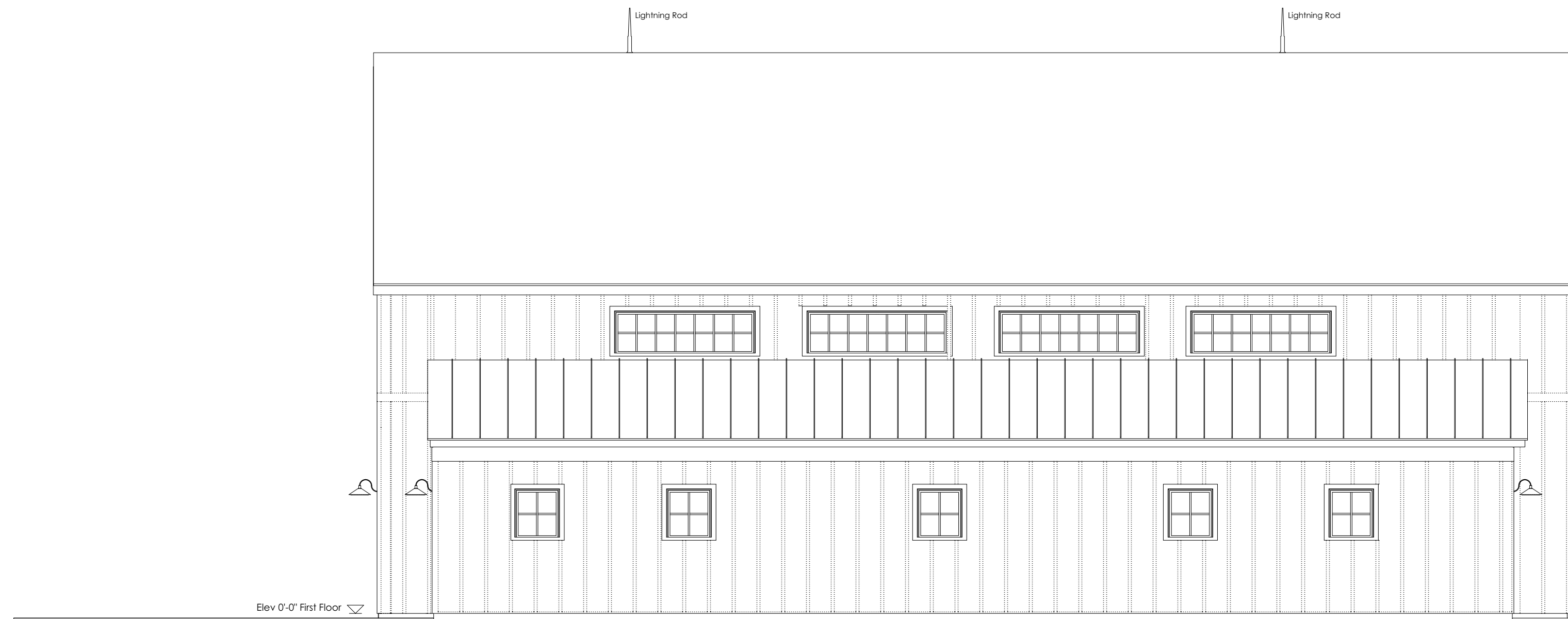




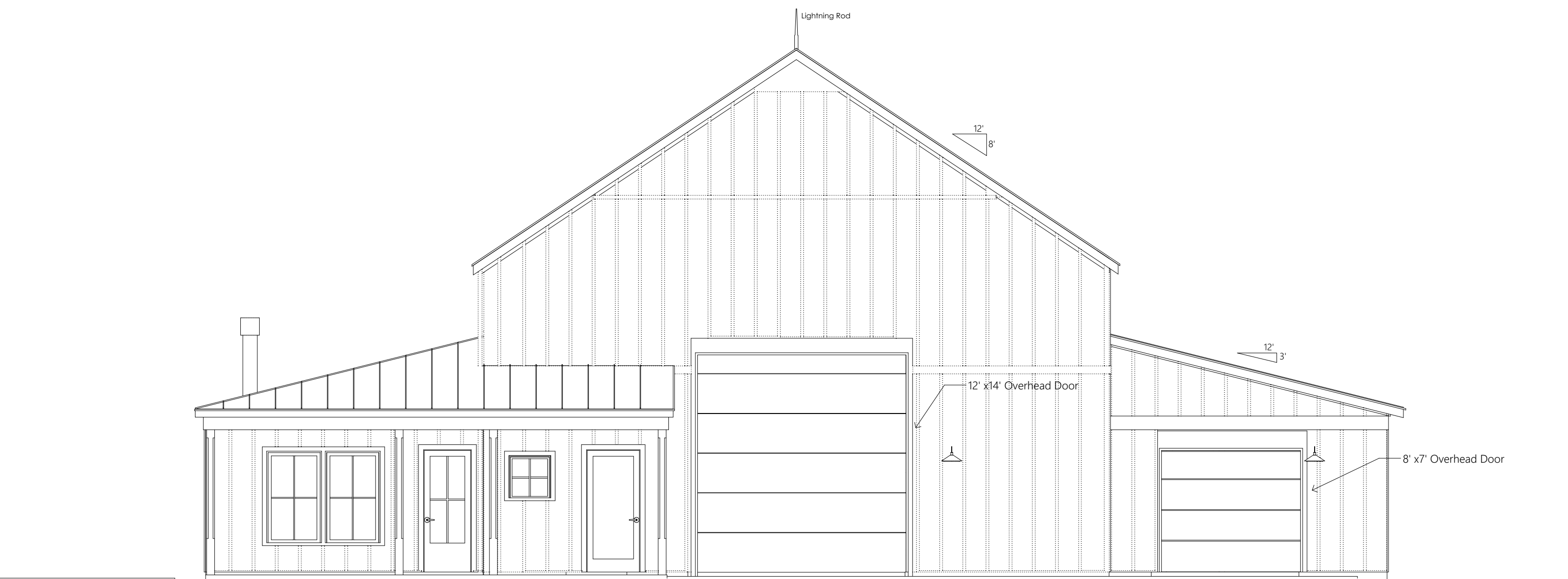
WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION

NewVehicle Barn with Living Quarters
11 Route 7
Salisbury CT 06796

6

Scheme 13.0
 Elevations 1 3/16" = 1'-0"

January 19, 2026

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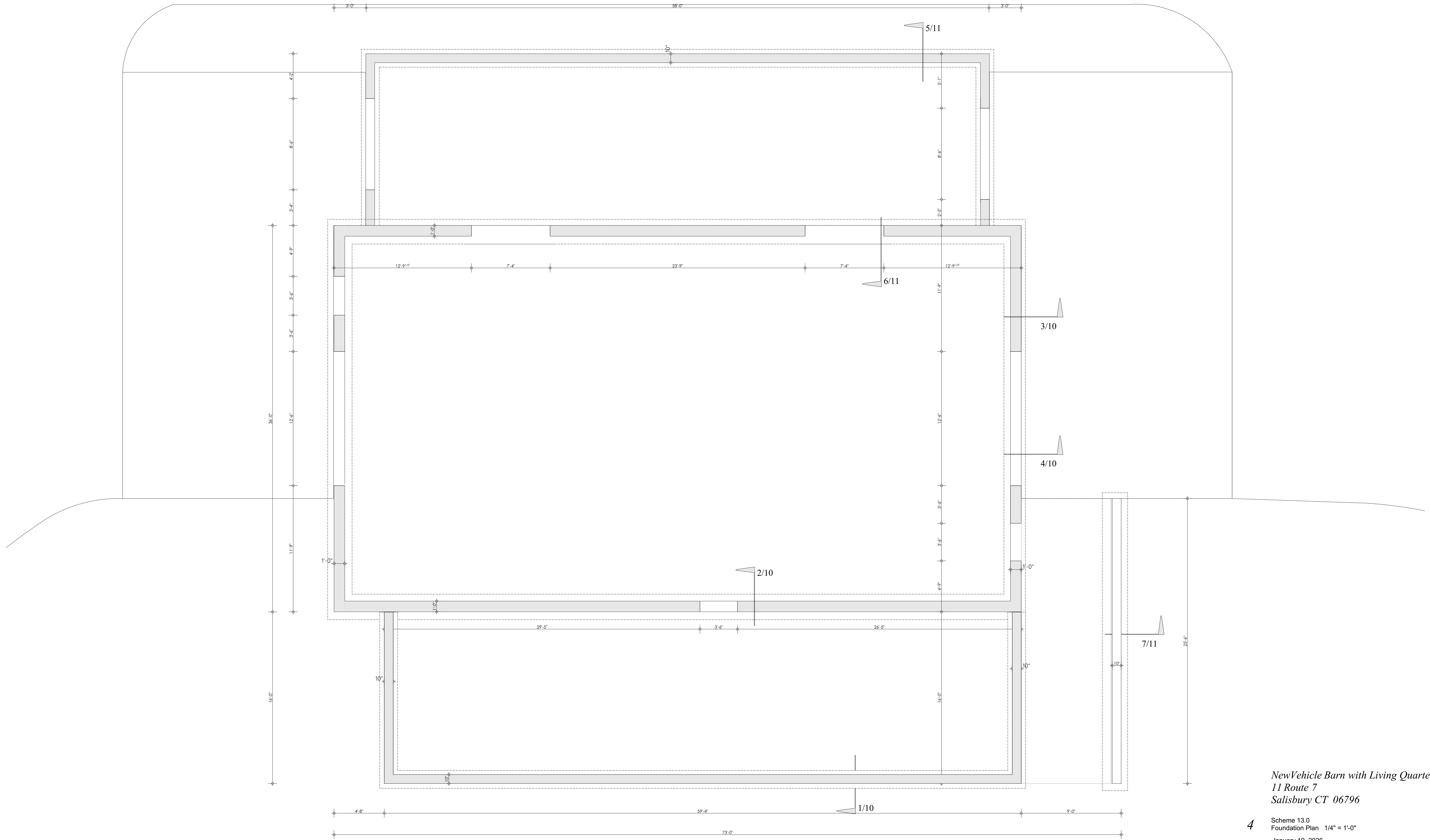
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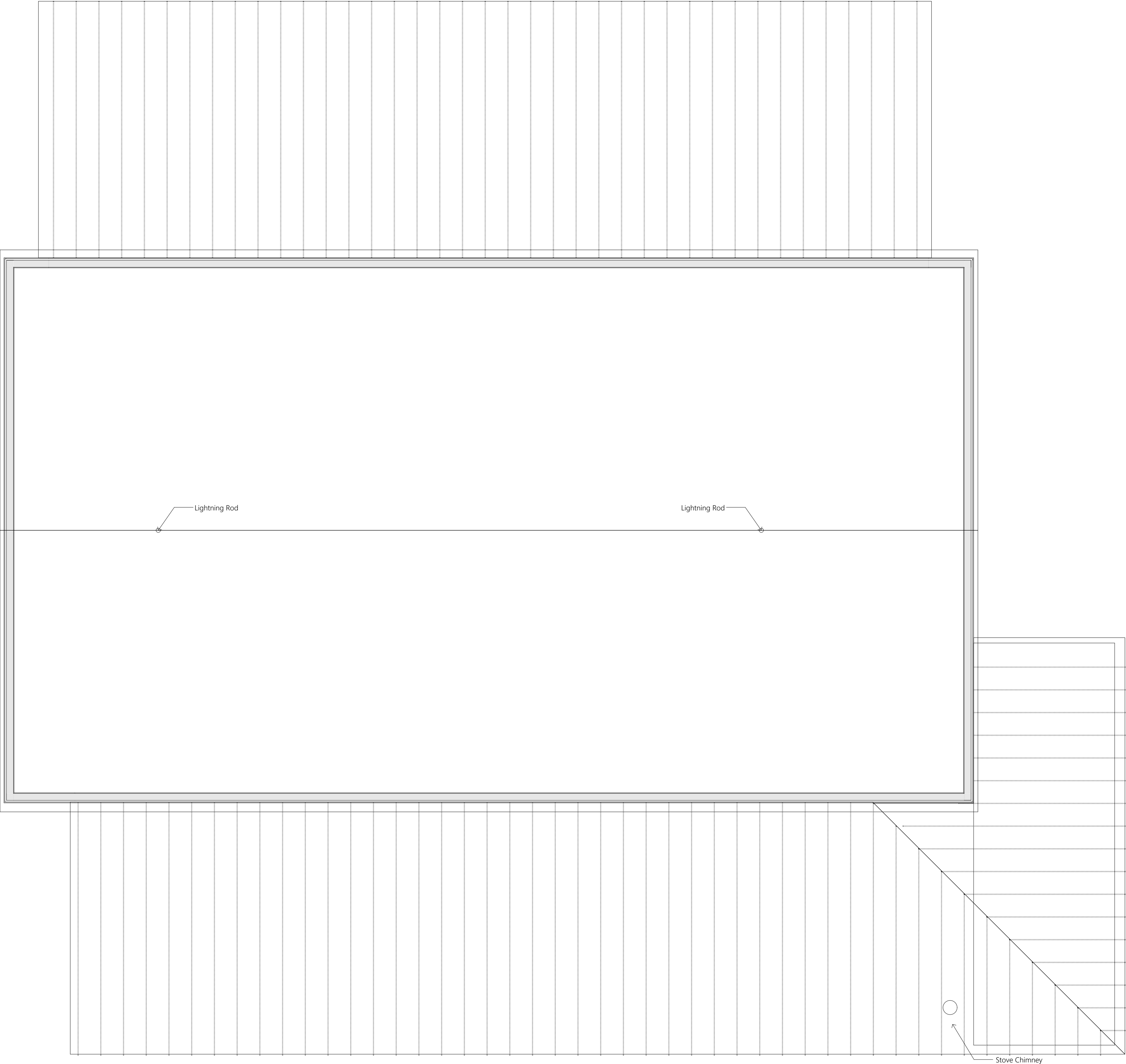


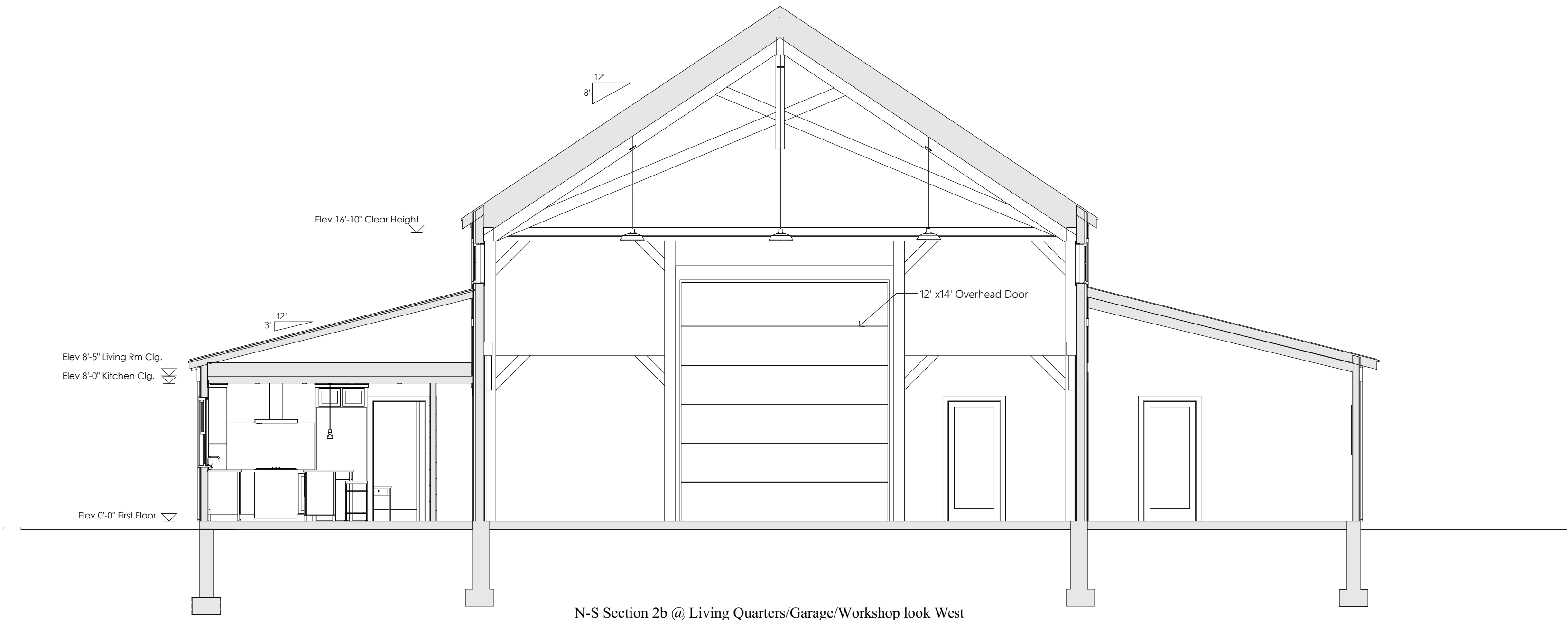


*New*Vehicle Barn with Living Quarters
11 Route 7
Salisbury CT 06796

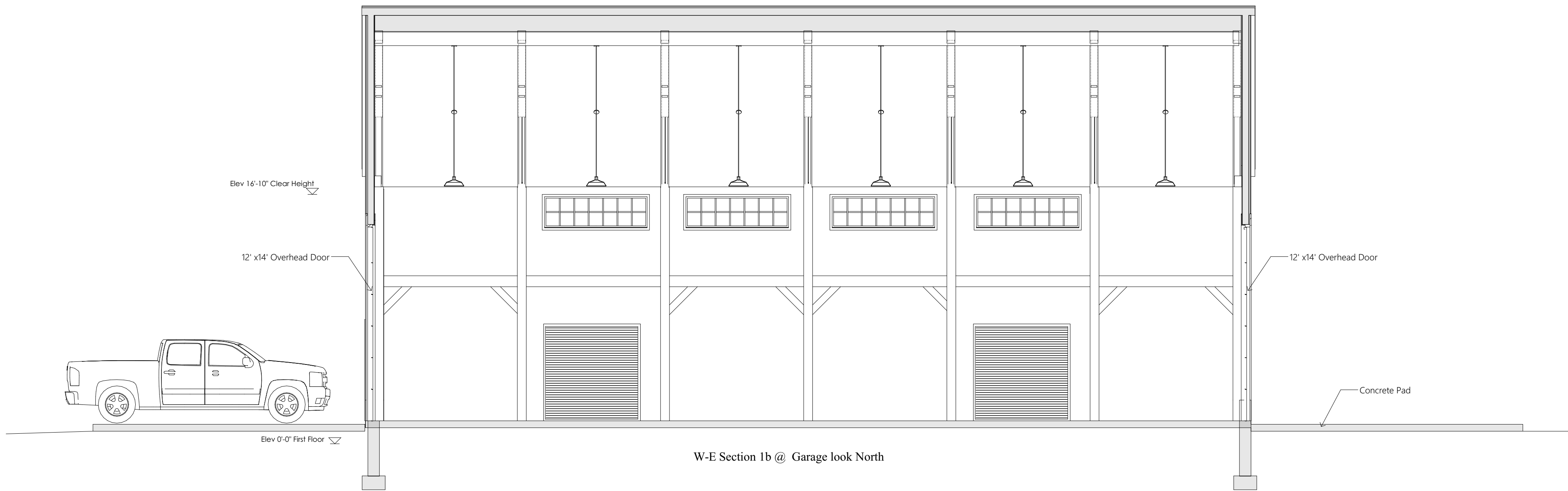
4 Scheme 13.0
Foundation Plan 1/4" = 1'-0"
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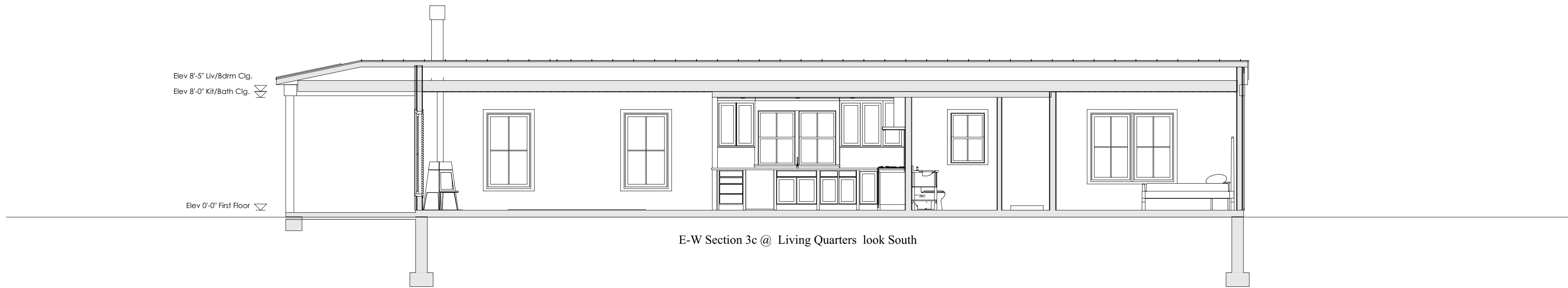




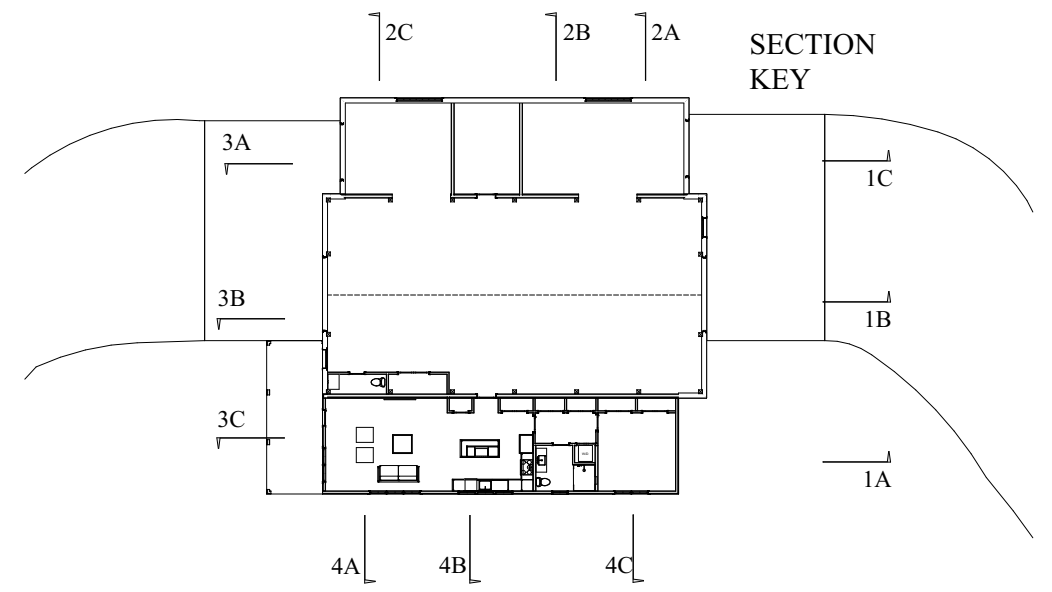
N-S Section 2b @ Living Quarters/Garage/Workshop look West



W-E Section 1b @ Garage look North



E-W Section 3c @ Living Quarters look South



NewVehicle Barn with Living Quarters
11 Route 7
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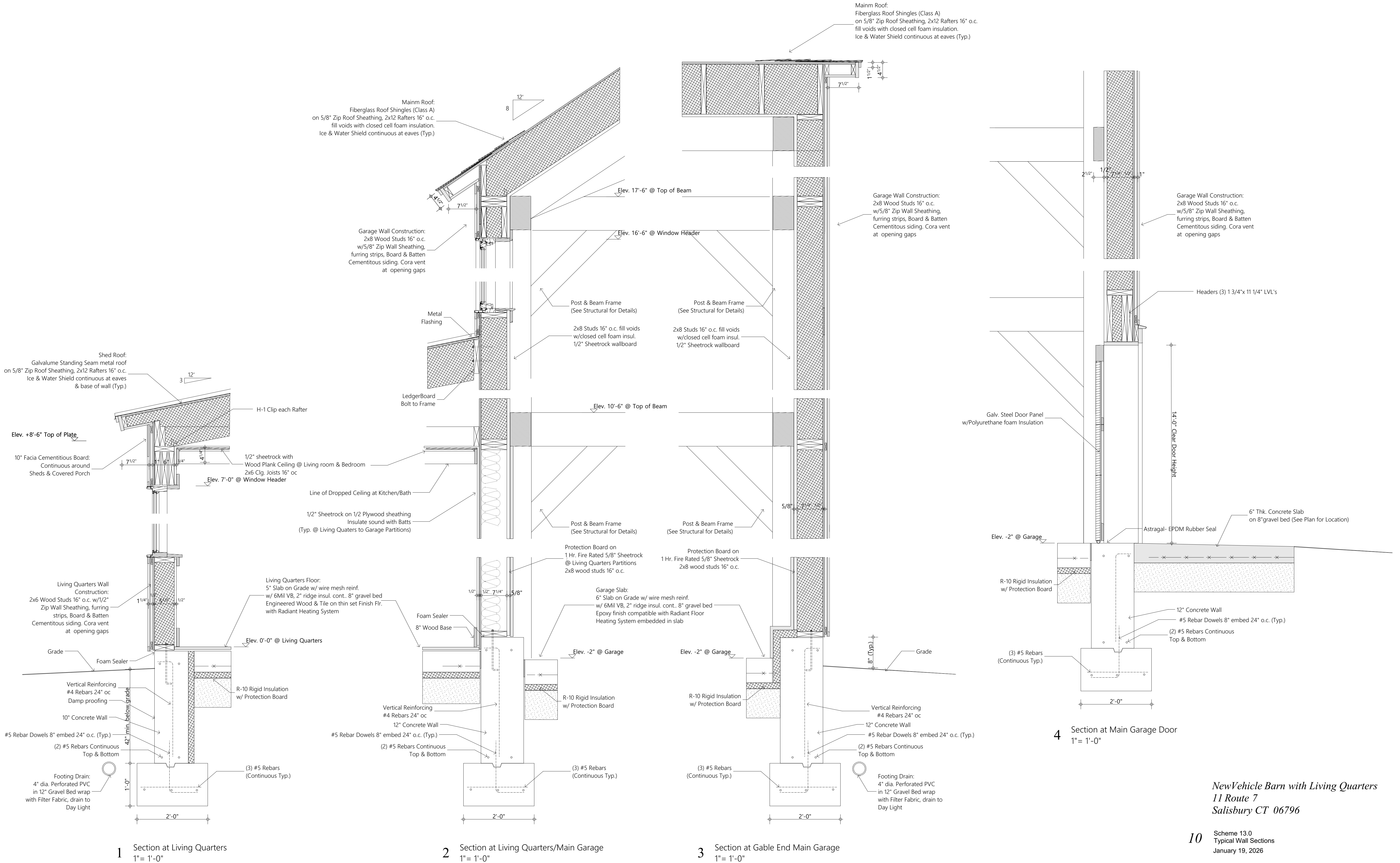
7

Scheme 13.0
Building Sections 1 3/16" = 1'-0"
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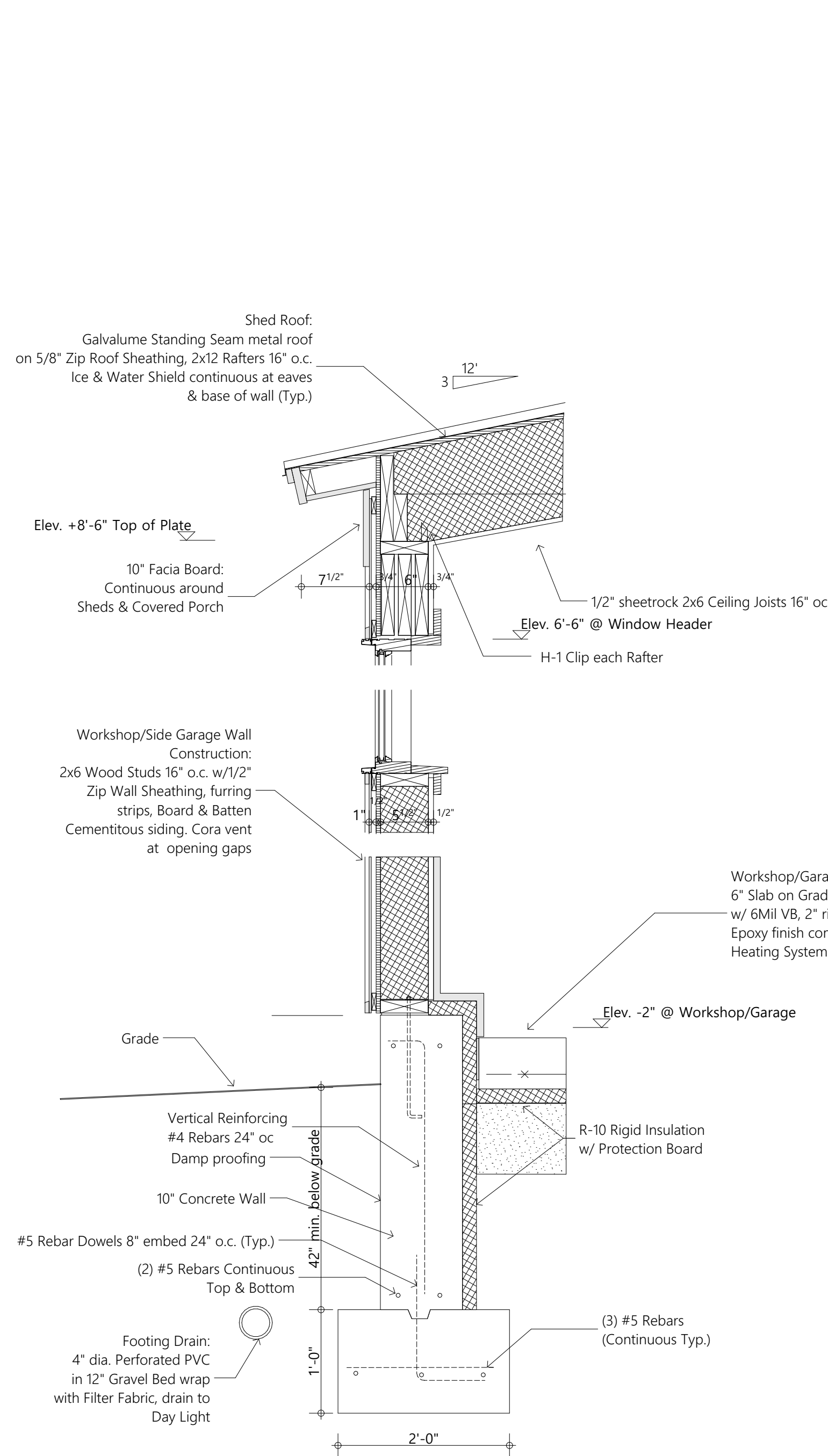
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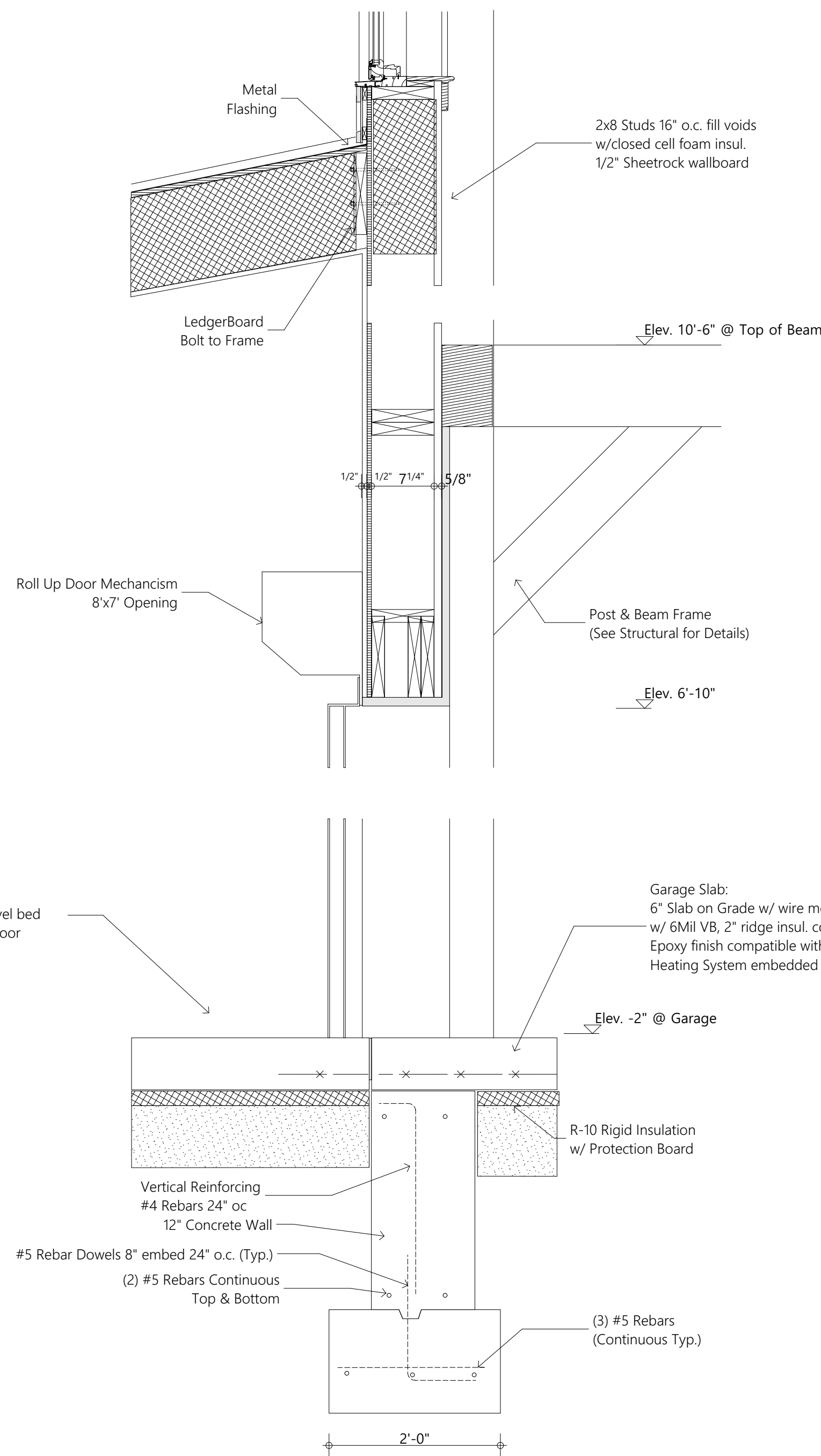
NewVehicle Barn with Living Quarters
11 Route 7
Salisbury CT 06796

10 Scheme 13.0
 Typical Wall Sections
 January 19, 2026

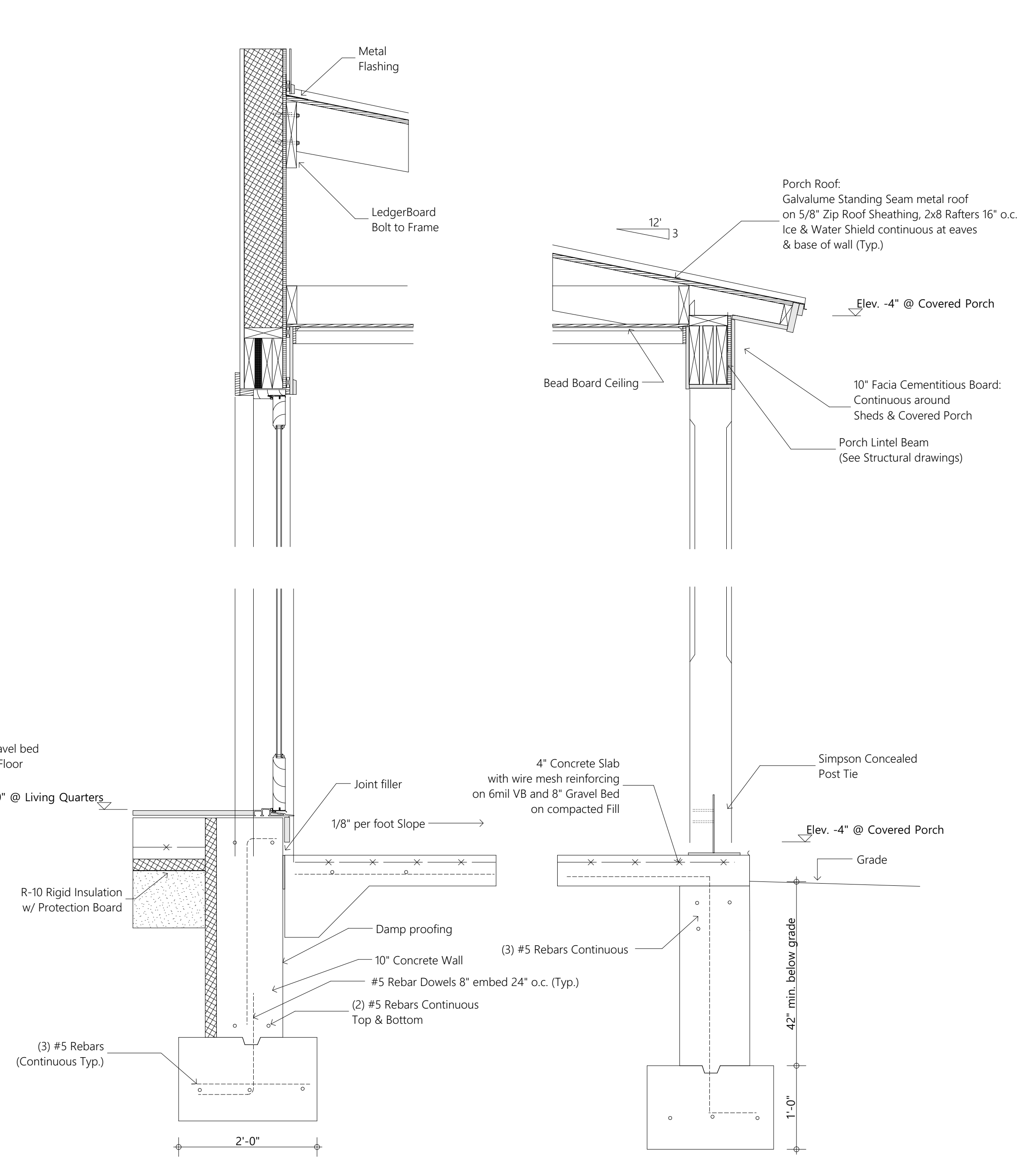
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5 Section at Workshop/Northside Garage
1" = 1'-0"



6 Section at Workshop/Main Garage
1" = 1'-0"



7 Section at Covered Porch
1" = 1'-0"

NewVehicle Barn with Living Quarters
11 Route 7
Salisbury CT 06796

11 Wall Sections 2
1" = 1'-0"

January 19, 2026

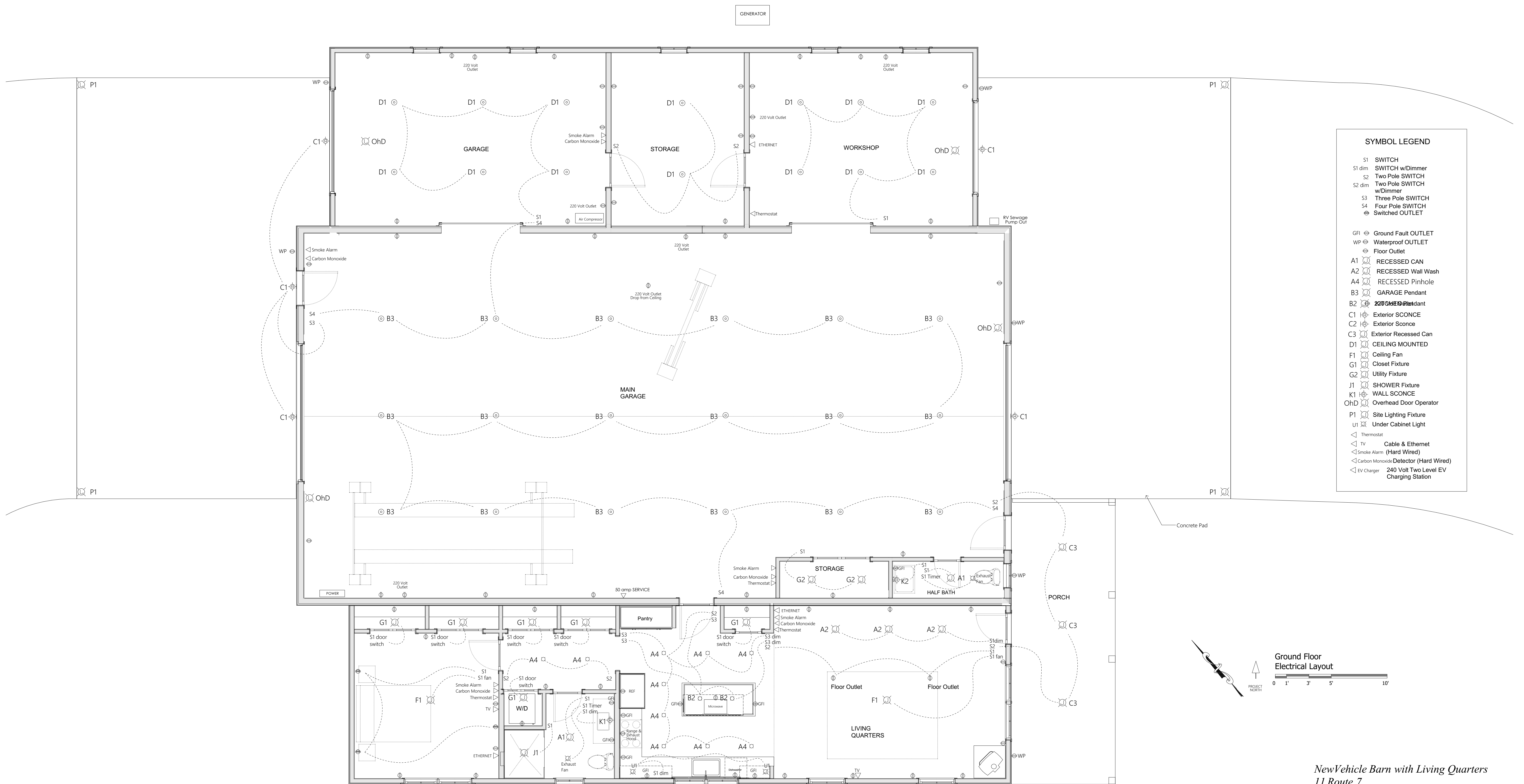
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NewVehicle Barn with Living Quarters
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Salisbury CT 06796

12 Scheme 13.0
Ground Floor Electrical Layout 1/4" = 1'-0"
January 19, 2026

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PROJECT DESCRIPTION

- Scope of work included in project:
- Garage/vehicle workshop and living quarters.
 - All utilities, permits, and fees necessary to complete project

I SITE WORK:

- CLEARING of existing trees and vegetation within area of construction footprint.
- All new or returned to service UTILITY and POWER LINES as necessary to serve new construction. All new utility service lines to run underground.
- EXCAVATIONand earthwork necessary to accomplish driveway, new foundations, septic system and utility trenches.
- Install continuous FOOTING DRAINS at perimeter of foundations.
- Provide 4" dia. PVC pipe in gravel bed and wrapped in filter fabric continuous at footing drains. Drain to daylight.
- Natural BLUESTONE set in 8" gravel bed at walks
- New gravel driveway with vehicle parking and concrete slab maneuver areas adjacent to garage door entries
- Grading Lawn, and HARDSCAPING (Landscape plant materials NIC)

II UTILITIES:

- Provide 400 Amp ELECTRIC SERVICE
- Underground service for power from utility pole along existing access drive (see site plan)
- Install electrical wiring, outlets, switches and fixtures to code.
- Provide 220v service in Garage
- New septic system to serve the living quarters
- Artesian WELL, casing and pump.
- Install Underground PROPANE tank 1000 gals.

III CONSTRUCTION

- 12" Concrete FOUNDATION wall, 20" x 12" deep continuous footers
- 10" Concrete FOUNDATION at Living Quarters.
- 6" Concrete SLAB on grade at Garage (slope to drain at doors)
- 5" Concrete SLAB at living quarters. Slabs on 8" gravel bed with 6 mil vapor barrier.
- Provide continuous loop of 4" dia. Perforated PVC pipe in filter fabric under concrete slab at the living quarters for RADON REMEDIATION, connect under-slab pipe to solid PVC vertical vent stack to roof (provide for in fan if test results require).
- Bluestone on 8" gravel bed w/Stone Dust @ walkways, 5" concrete slab at Covered Porch (Brushed Finish)
- Hurricane CLIPS & tie downs at roof/floor/wall assemblies
- 2x 12 Roof RAFTERS 16" o.c. with 5/8" Zip System roof sheathing
- FRAMMING, 2x6 16" o.c. with ½" Zip sheathing at residence, 2x8 16" o.c. at vehicle garage
- Exterior CLADDING to be Composite board and batten siding by James Hardie or equal: <https://www.jameshardie.com/product-catalog/trim-products/hardie-trim-batten-boards/rustic-grain/statement-collection-colors/>
- Provide for exterior wall drainage plane behind new siding installed on Home Slicker10 plus Typar.
- INSULATION: sprayed-in closed cell foam insulation in voids at exterior envelope. Maintain minimum R-values of R-60 at ceilings and roofs, R-30 at exterior walls, R-30 at floors, R-19 at foundation walls.
- GAF Ice and Water Shield starter course underlayment 36" horizontally continuous along eaves & valleys, base of walls and where walls meet roofs. Ice and Water shield entire surface of low slope roofs.
- PORCHES and LOWER ROOF: Galvalume 1 1/2" standing seam metal roof. Provide snow guards along eave edges at lower roof near entry
- MAIN ROOFS: Class A fiberglass roofing shingles, 40 year warranty w/metal flashing.
- Exterior FASTENERS to be stainless steel (grade 316)

IV WINDOWS AND DOORS

- Andersen A-Series French doors, and Windows to be clad wood, double hung, awning and casement with fixed simulated divided lites, with Northern low E coatings and insulating glass. Provide fiberglass screens or equal for all operating sash.
- Install Grace Vycor FLASHING MEMBRANE around all windows and doors prior to installing trim casings
- HARDWARE (to be selected)

V INTERIOR FINISHES

- Acoustical SEALANT and sound attenuation batts at bedroom/bath walls & first floor ceilings
- Interior PARTITIONS to be 2x4 wood stud 16" o.c. ½" sheet rock, WR at baths
- 2x6 stud partitions at all pocket doors, bearing walls & plumbing chases.
- Interior Doors to be single panel solid doors by Morgan or equal
- Painted 1x6 WOOD PLANK ceiling and wood beams at ceilings as indicated on plans.
- Interior TRIM; 1x8 beaded wood base throughout, 1x4 beaded flat casings at window and door casings, painted wood wainscot as indicated.
- Solid wood CABINETRY and shelves at built-ins & bath vanities with inset doors, dovetail joints, self closing drawers.
- Random widths 4" to 6" White Oak quarter sawn select wood flooring with 3 coats of Waterlox tung oil at living quarters.
- SHOWER ENCLOSURE to be marble or ceramic tile walls on DuraRock substrate. Shower tray to be Schluter-KERDI-SHOWER-T/-TS/-TT prefabricated sloped shower trays with integrated KERDI waterproofing.
- Frameless Glass Shower Doors by Luxus or equal
- Bath WAINSCOTT to be tiles or hardwood paneling as indicated in building sections.

Garage WAINSCOTT to be cellular beaded PVC sheets by Versatex or equal: <https://versatex.com/product/sheet/>

15

- Provide wood BLOCKING at all towel bars, grab bars, and any other similar wall or ceiling mounted fixtures as necessary.
- Bath FLOORING to be Porcelain, Mosaic or Marble Tile on thin set with (2) Layers of plywood subfloor
- Porcelain Tiles in thin set & double layer plywood subfloor at Entry Foyer, Mudroom and Laundry
- Painted solid wood Kitchen CABINETS with inset doors, dovetail joints, self closing drawers.
- 1 ½" thick Quartz counter tops.
- 3x6 Subway tile Backsplash

VI PAINTING SCHEDULE:

- Exteriors: primer plus two coats Latex by Benjamin Moore with Mildewcide (3oz. per gal.) at miscellaneous trim
- Exterior WINDOW & DOOR TRIM: back and edge prime, with two coats of Latex paint, by Benjamin Moore with Midicide (3oz. per gal.)
- INTERIOR SHEET ROCK: primer plus two coats latex paint by Benjamin Moore or equal, (satin finish)
- INTERIOR TRIM, window and door casings: one coat interior trim primer, one coat ADVANCE Waterborne Interior Alkyd Paint primer, one coat ADVANCE Waterborne Interior Alkyd Paint (satin finish).
- Wood flooring at Residence to finished with primer and two coats of Waterlox tung oil or Latex Polyurethane

VII SPECIALTIES:

- Install Electric RADIANT MATT under tile floors in Primary Bath
- Custom Garage OVERHEAD DOORS at vehicle garage
- Conduct BLOWER TEST on completed structure to identify of air leaks
- Test WATERQUALITY for hardness & radon.
- Gas Fired Stove at living quarters by Jotel: Allagash 300 <https://www.jotul.com/products/gas-stoves/gf-300-by-allagash/>
- Provide GAS CONNECTION for Range and gas stove
- Provide propane-fired back-up GENERATOR to serve all circuits
- Coordinate with owner installation of SECURITY SYSTEM
- Provide LIGHTNING ROD protection
- Compressed air system for the Garage/Workshop

VIII MECHANICAL EQUIPMENT:

- HVAC:
 - Radiant Heat in Slabs throughout
 - Humidity control in Garage and Workshop areas
 - AC Air Handlers at Living Quarters
- Provide Remote (internet-based) monitoring controls for HVAC systems
- Water Testing & remediation if necessary, including installation of a Water Softener system.
- (3) frost proof HOSE BIBS. Connect to non-treated water supply

WINDOW SCHEDULE:

Mark	Location	Type	Approximate Frame Size (W x H)	Head R.O. Hgt
W-1	Kitchen	(2) DH	2'-9" x 4'-0"	7'-0"
W-2	Bath	Fixed	2'-6" x 3'-8"	7'-0"
W-3	Bedroom	(2) DH	3'-0" x 5'-0"	7'-0"
W-4	Living Rm	DH	3'-0" x 5'-6"	7'-0"
W-5	Living Rm	(2) DH	6'-0" x 5'-6"	7'-0"
W-6	Half Bath	Awning	2'-4" x 2'-6"	7'-0"
W-7	Garage/Storage/Workshop	Awning	2'-4" x 2'-6"	7'-0"
W-8	Upper Garage	Fixed	7'-6" x 2'-4"	16'-6"

Notes:

See elevation drawings for mullion and mutton divisions.
* Egress Compliant
**Provide safety glazing at all windows located within the swing of an adjacent door, adjacent to a tub or a sill height below 24".

DOOR SCHEDULE:

Mark	Location	Size (WxH)	Type
D-1	Living Quarters Entry	3'-0" x 7'-0"	Door w/Glass
D-2	Closet	2'-9" x 7'-0"	Solid Panel
D-3	Closets	4'-0" x 7'-0"	Solid 1 Panel (Pair)
D-4	Garage to Living Quarters	2'-8" x 7'-0"	Solid Panel*
D-5	Bedroom Entry	2'-8" x 7'-0"	Solid Panel
D-6	Bath	2'-6" x 7'-0"	Solid Panel
D-10	Garage Entry	3'-0" x 7'-0"	Solid Panel
D-11	Garage Entry	3'-0" x 7'-0"	Solid Panel
D-12a	Storage	3'-0" x 7'-0"	Solid Panel
D-12b	Storage	3'-0" x 7'-0"	Solid Panel
D-13	Half Bath	2'-6" x 7'-0"	Solid Panel
D-14	Storage Closet	4'-0" x 7'-0"	Solid Panel (Pair)

*1 hr. Rated Door

Electrical Fixture Schedule:

A1. Recessed LED "Aurora" 2-120T Lumen Series 3 CRI 90
White flange, black stepped reflector, Series 3, 40 degree beam spread, warm dimming feature
<<https://lighthouseledlighting.com/assets/product-series/Aurora/Product-Spec-Sheet/2-120-T-Aurora-Standard-LED-Specs.pdf>>

A2 Recessed Wall Wash "Round Wall Wash" 1-112-T Standard LED
Lumen Series 3 CRI 90 White flange, 40 degree beam spread, warm dimming feature
<<https://lighthouseledlighting.com/product/aqua/aqua-bro/>>

A3 Surface mounted Monopoint (white) WAC Paloma LED12 9.5W Luminaire
<https://www.waclighting.com/product/paloma-led512/>

A4 Recessed 2" Round Pinhole Standard LED T2RP-T
White flange, Series 2, 36 degree beam spread, warm dimming feature
<<https://lighthouseledlighting.com/product/2-round-pinhole/2-round-pinhole/>>

B1. Garage Stem Pendants LED Fixture
<<https://www.barnlight.com/lighting/ceiling-lights/stem-mount-pendant-lighting/the-original-stem-mount-pendant-light/>>

B2. Kitchen Island Pendants to be selected

C1. Exterior Sconce Barn Light Electric
<<https://www.barnlight.com/lighting/barn-lights/led/gooseneck-led-lighting/the-original-led-warehouse-gooseneck-light/?lspid=64852>>

Warehouse Gooseneck LED, Galv. finish 12" shade, G26 arm, 2700K, Flat LED lens

D1. Garage/Storage/Workshop surface mounted to be selected

E1 Bath Exhaust Fan Panasonic Whisper Ceiling DC SmartFlow Model FV1115VQ5
FV-1115VQ1 - PanasonicB2C <<https://shop.panasonic.com/support-only/FV-1115VQ1.html>>

G1 Closet Fixture WAC Lighting Glo LED Flushmount
<<https://www.lumens.com/glo-led-flushmount-by-wac-lighting-WACP90566.html>>

G2 Utility Fixture to be selected

F1 Fan Modern Forms Slim 52" Smart LED
<<https://www.build.com/modern-forms-slim-52-flush/sl704917?uid=4020679>>

K1. Primary Bath Sconce to be selected
K2. Half Bath Sconces to be selected

U1 Under Cabinet Halo HU10 LED
http://www.cooperindustries.com/content/public/en/lighting/products/indoor_ceiling_wa ll_mount_lighting/undercabinet/_823259.ssd.html#product-tabs
<http://www.cooperindustries.com/content/public/en/lighting/products/indoor_ceiling_w all_mount_lighting/undercabinet/_823259.ssd.html>

General Notes:

- All wiring, fixtures, outlets, switches, power supply, meters, circuit breakers and any other products installed as part of the electrical work must met all applicable building codes and requirements.
- Duplex outlets to be installed 12" off finished floor, except at special installations such as above counter tops and cabinetry interiors. Switches, controls and dimmers to be installed at 48" off finish floor (typically). Wall sconces to be installed at 72" off finish floor (typically).
- Bath Exhaust Fan Timer switches by Honeywell Digital Bath Fan Control - White - HVC0001
- Provide Ground Fault Interrupter outlets at locations within ten feet of sink.
- Dimmer switches to be by Lutron, "Decora" DD00R-DLZ model for LED capable dimming. Provide matching switches.
<<https://www.leviton.com/en/products/dd00r-dlz>>
- Smoke & Carbon Detectors hard wired with battery back-up. First Alert Onelink model #SCO501CN or equal.
- Provide water line to Refrigerator Ice maker.
- Provide 220 amp Service at locations indicated in Main Garage & Workshop
- Provide 50 amp Service in locations indicated in Main Garage

NewVehicle Barn with Living Quarters
11 Route 7
Salisbury CT 06796

13

Scheme 13.0
General Notes
January 16, 2026

PATRICK SCOTT MULBERRY, ARCHITECT

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